

# REPORT / RECOMMENDATION



**To:** Park Board

**Agenda Item #:** VI.C.

**From:** Ann Kattreh  
Parks & Recreation Director

**Action**

**Discussion**

**Date:** July 14, 2015

**Information**

**Subject:** Proposed Land Exchange – 6629 West Shore Drive, Edina

## Action Requested:

Provide review and comment on a proposed land exchange at 6629 West Shore Drive.

## Information / Background:

The City Council has requested that the Park Board provide review and comment on a proposed land exchange between the City of Edina and Liz and Tony Burger, the property owners at 6629 West Shore Drive, Edina. The Planning Commission will also be reviewing this proposal at the July 22 Planning Commission meeting.

The Burgers purchased the home at 6629 West Shore Drive in June of 2004. The Burgers state that at the time of purchase they were aware that there was a city park between their property and Lake Cornelia. They state, however, that they were not aware that the park property is just four feet from the northwest corner the house. When the Burgers purchased the house, they had three reconstruction goals for the home:

1. Remove the existing pool
2. Redo the existing basement and main level of the house
3. Expand upward via a second story and create a walkout towards the lake

The first two phases of construction are complete and the owners wish to complete phase three. In 2008 the owners applied for and were granted variances to build the addition. The economy went into a financial crisis and home loans were unavailable for the work they wanted to do. Because the applicant never picked up a building permit to build the addition, the variance expired.

The house is already non-conforming and with the current property line, the owners have no way of moving forward without a variance or land exchange. When the house was built in 1961 there was a large amount of dirt that was brought in to support the foundation containing the indoor swimming pool. This hill rests on both city park land and private property. Without removal of the hill, the owners cannot do a walk out from the basement, without encroaching into the park land. All of the other eight properties that border the park have a walkout toward the lake. The homeowners state that they are simply asking for the same right as the neighbors. The hill is unnatural and unnecessary since the pool has been removed.

The homeowners also want to expand their deck. Eight out of the nine houses on the park have large decks that provide views of the lake. The Burgers are the only exception. When the permit and variance were granted in 2008, although the owners couldn't afford to add the second story, they completed work on the main level of the house which reduced the number of bedrooms and added structures to support the future second story. The house does not work for their family, but they have no way to expand it.

The applicant is, therefore, requesting a land trade, so that they may build the addition without the need for variance or encroachment into the park. This would potentially allow the property owner to complete the project and not diminish or reduce Edina public park land. The homeowners have worked with a surveyor who has provided a possible solution. In this proposal, the city and property owner would exchange the same square footage of property and allow the desired home renovation project.

If the Park Board is supportive of the land trade, staff would recommend that the existing play structure be removed from the park property and the area be seeded with grass (see the attached maps which show the play structure currently encroaches into city property). The Park Board is also asked to consider a requirement to obtain the park land in a strip of land down to West Shore Drive to provide public access into the publicly-owned land.

Attachments:

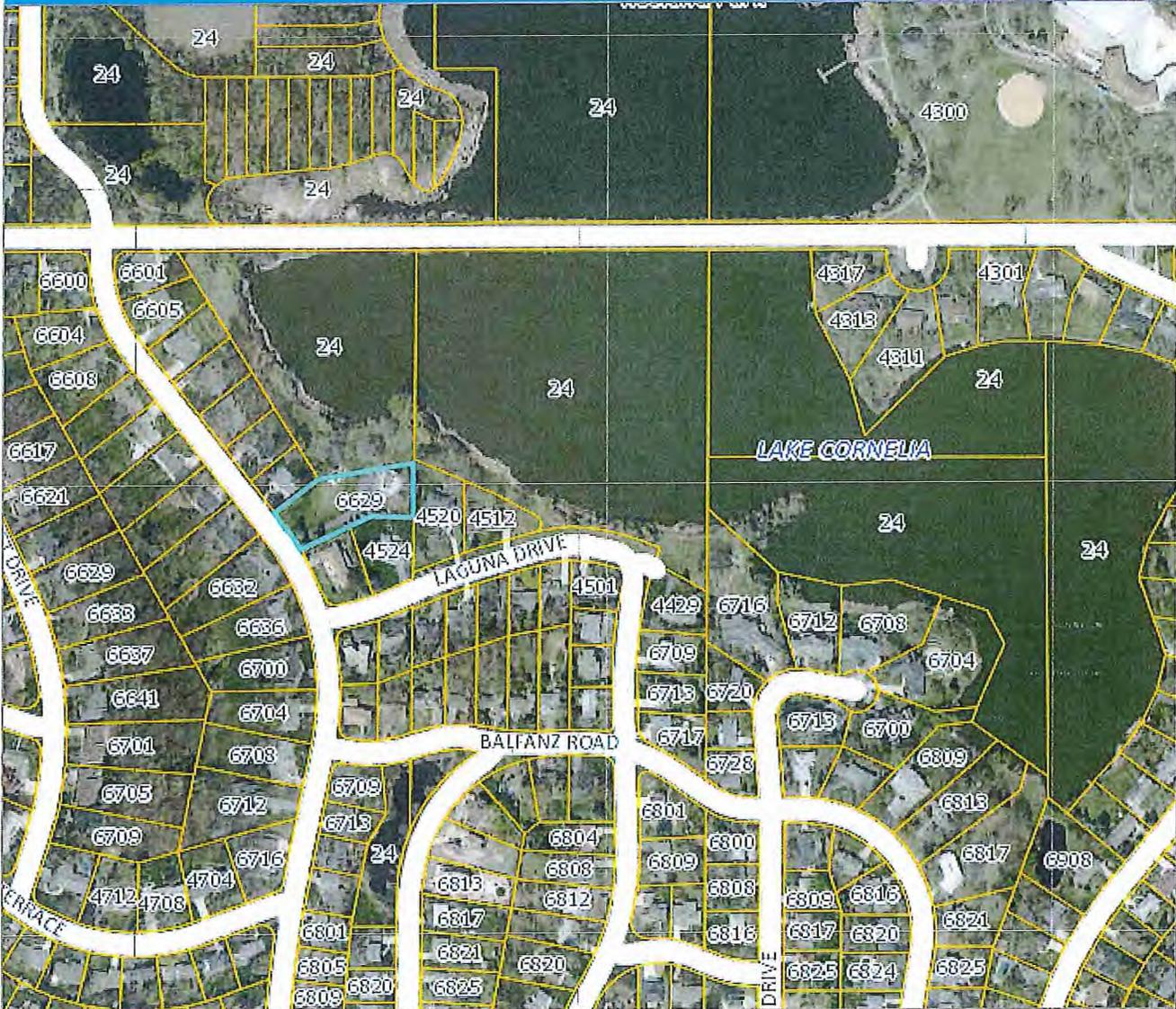
- A. Site Map
- B. Subject Property
- C. Land Exchange Site Map
- D. Land Survey

# A.Site Map



Interactive  
Maps

Property  
Map



**Parcel ID:** 30-028-24-31-0044

**Owner Name:** A Burger & E Burger

**Parcel Address:** 6629 West Shore Dr  
Edina, MN 55435

**Property Type:** Residential Lake Shore

**Homestead:** Homestead

**Parcel Area:** 0.88 acres  
38,491 sq ft

**A-T-B:**

**Market Total:**

**Tax Total:**

**Sale Price:**

**Sale Date:**

**Sale Code:**

Map Scale: 1" ≈ 400 ft.  
Print Date: 7/7/2015



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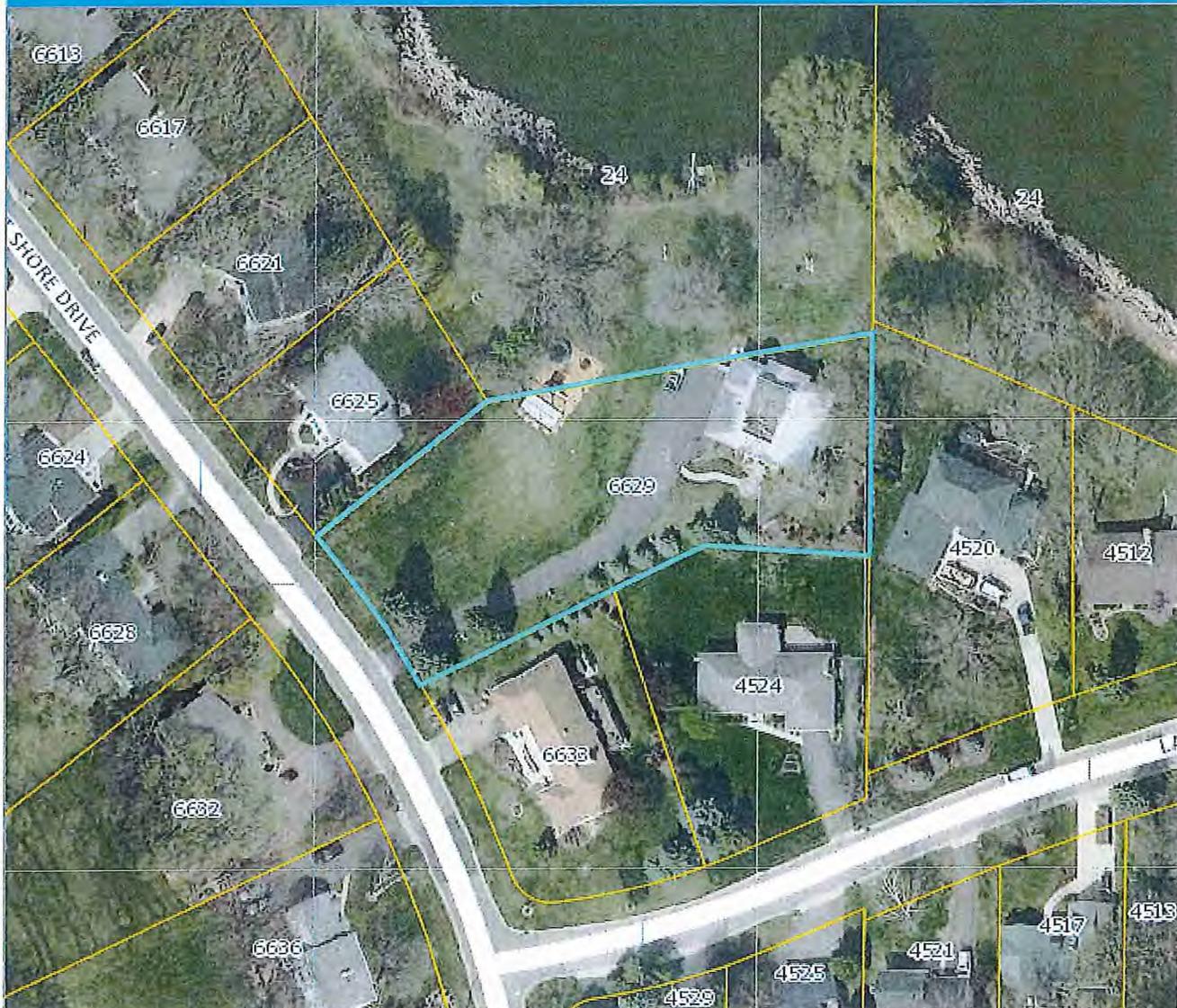
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 Think Green!

# B. Subject Property



Interactive  
Maps

Property  
Map



**Parcel ID:** 30-028-24-31-0044

**Owner Name:** A Burger & E Burger

**Parcel Address:** 6629 West Shore Dr  
Edina, MN 55435

**Property Type:** Residential Lake Shore

**Homestead:** Homestead

**Parcel Area:** 0.88 acres  
38,491 sq ft

**A-T-B:**

**Market Total:**

**Tax Total:**

**Sale Price:**

**Sale Date:**

**Sale Code:**

Map Scale: 1" ≈ 100 ft.  
Print Date: 7/7/2015



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# LAND TRADE AREAS

## C. Land Exchange Site Map



Interactive Maps

Property Map



**Parcel ID:** 30-028-24-31-0044

**Owner Name:** A Burger & E Burger

**Parcel Address:** 6629 West Shore Dr  
Edina, MN 55435

**Property Type:**

**Homestead:**

**Parcel Area:** 0.88 acres  
38,491 sq ft

**A-T-B:** Torrens

**Market Total:**

**Tax Total:**

**Sale Price:**

**Sale Date:**

**Sale Code:** Warran

**Map Scale:** 1" ≈ 50 ft.

**Print Date:** 7/7/2015



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