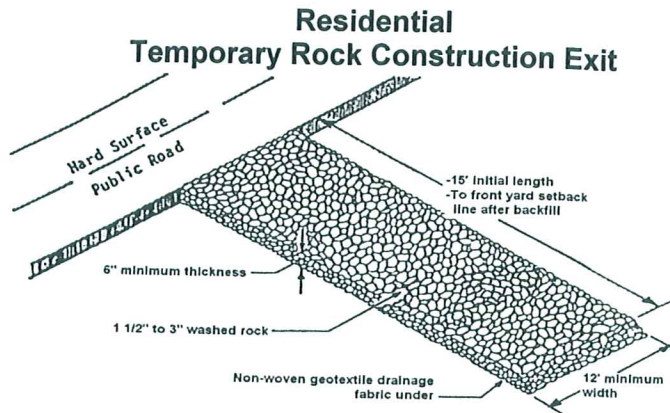


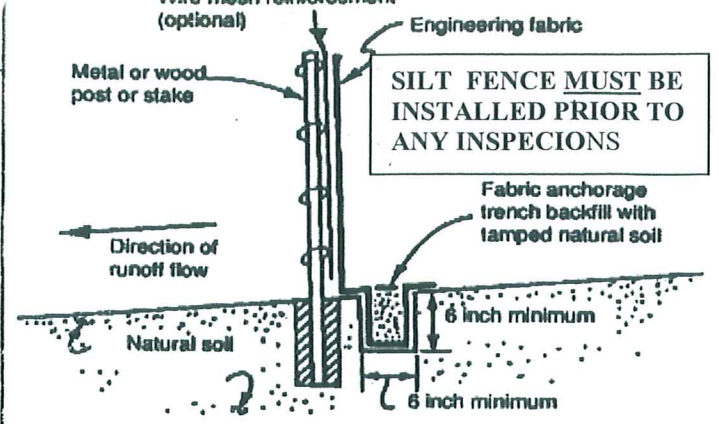
# WARNING

Confirm property may be redeveloped prior to demolition

A demolition permit provides no assurance of permitted future uses



Failure to install the Construction Exit before disturbing the site soils and/or failure to maintain the Construction Exit will result in enforcement action by the City.



Note: Depending upon configuration, attach fabric to wire mesh with hog rings, steel posts with tie wires, or wood posts with staples.

Figure 6.3-2: Typical Installation for silt fence

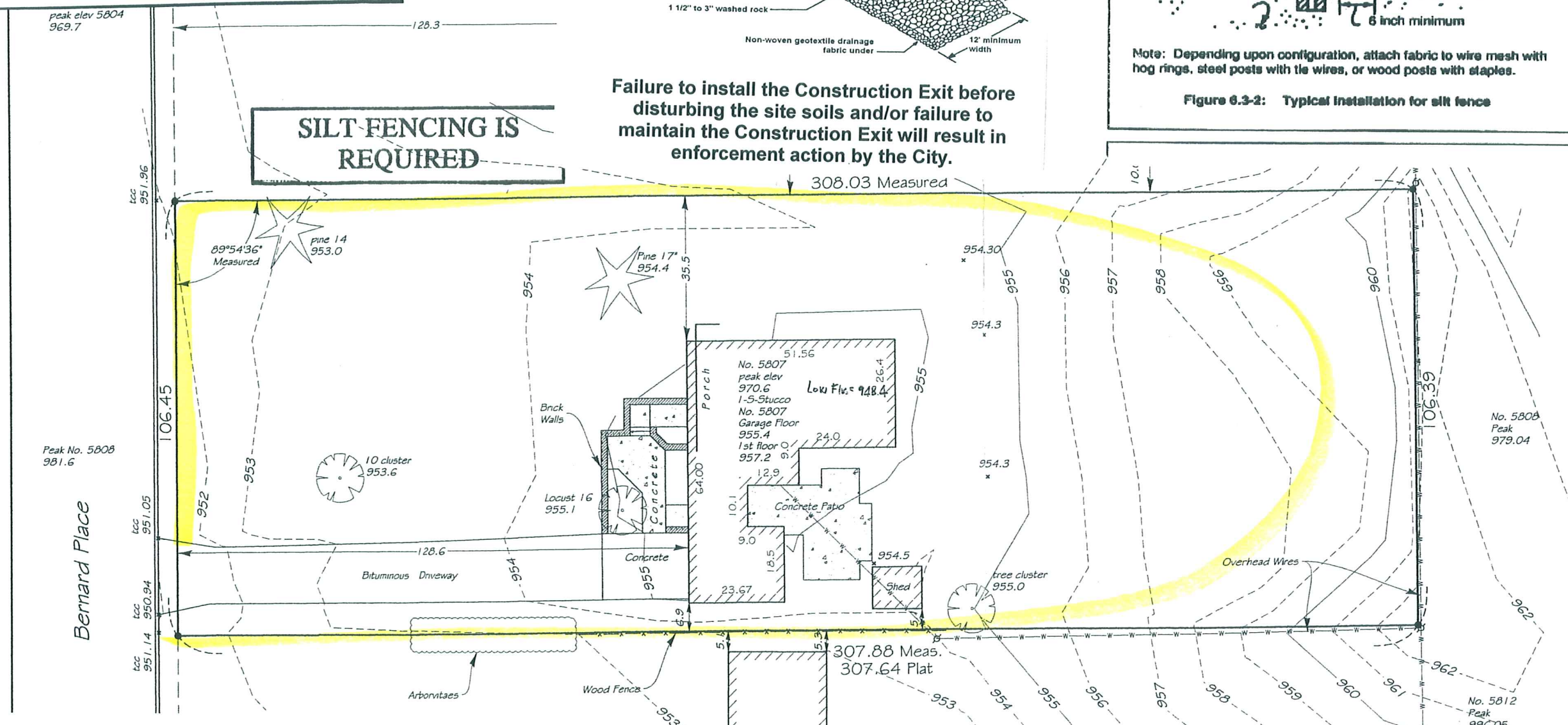
INVOICE NO. 77365  
 F.B.NO. 1024-39  
 SCALE: 1" = 30'

- Denotes Found Iron Monument
  - Denotes Iron Monument
  - Denotes Wood Hub Set for excavation only
  - x000.0 Denotes Existing Elevation
  - 000.0 Denotes Proposed Elevation
  - ← Denotes Surface Drainage
- NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.
- NOTE: The relationship between proposed floor elevations to be verified by builder.
- Proposed Top of Block
  - Proposed Garage Floor
  - Proposed Lowest Floor
  - Type of Building

Impervious Coverage  
 Boundary Area = 32,765 sq ft±  
 Existing Building = 2,195 sq ft±  
 Front Stoop and Walks = 334 sq ft±  
 Concrete Driveway = 344 sq ft±  
 Bituminous Driveway = 1,594 sq ft±  
 Brick Walls = 104 sq ft±  
 Shed = 125 sq ft±  
 Concrete Patio = 555 sq ft±  
 Total Coverage = 5,251 sq ft±  
 Percentage = 16.0%

Average Setback of Block

No. 5801 = 128.0  
 No. 5805 = 128.3  
 No. 5807 = 128.6  
 No. 5813 = 126.5  
 No. 5817 = 127.5  
 No. 5216  
 Benton Ave = 127.4  
 Average Setback = 127.7



- Conditions of Demolition/Moving**
- ✓ 4' construction fencing shall enclose existing basement perimeter and excavations with slopes steeper than 1:1. Attach fencing to minimum 5' posts buried 1' and spaced at a maximum 10' on center.
  - ✓ Enclose stockpiled soils with properly installed silt fencing.
  - ✓ Property must be restored within sixty (60) days of building demolition/move – utilities abandoned at the property line with a permit, foundation demolished with a separate permit, debris removed, demolition excavation filled to match adjacent grade and seed or sod placed and maintained at disturbed areas OR a permit must be issued for a new structure within sixty (60) days of the building demolition/move.

DEMO PERMIT # 89500

**CONCEPT APPROVED**

Date 7-10-08

By SK City of Edina Bldg. Dept.

Benchmark: Top Nut Hydrant at Grove Street and Bernard Place  
 Elevation = 956.80 NGVD 1929 datum

Approved Grading and Drainage Plan required prior to altering any grades and/or drainage

Signed Charles F. Anderson  
 Charles F. Anderson, Minn. Reg. No. 21753 or Gregory R. Prasch, Minn. Reg. No. 24992

**OFFICE COPY**

Rev	Drawn By J. Munson
	File Name chp-22-1fb102439inv77365existing.dwg

Lot 22, Block 1, CODES HIGHVIEW PARK  
 Hennepin County, Minnesota

5807 BERNARD PLACE 5807 BERNARD PL