

ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 www.advsur.com

SURVEY FOR: GORSKI RESIDENCE

SURVEYED: May 13, 2014 DRAFTED: May 14, 2014
 REVISED: October 15, 2014 to show proposed improvements

LEGAL DESCRIPTION:
 Lot 1, Block 3, Birchcrest, Hennepin County, Minnesota.

SCOPE OF WORK:
 1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
 2. Showing the location of existing improvements we deemed important.
 3. Setting new monuments or verifying old monuments to mark the corners of the property.
 4. Showing elevations on the site at selected locations to give some indication of the topography of the site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the map when determining other elevations for use on this site.
 5. Showing your proposal to make improvements to the property, grading, drainage and erosion control details, for your review and approval and for the review and approval of such governmental agencies as may have jurisdiction over your project before you use this survey to make decisions.

STANDARD SYMBOLS & CONVENTIONS:
 "●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

CERTIFICATION:
 I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

Signature: James H. Parker Typed Name: James H. Parker

Date: October 15, 2014 Reg. No. 9235

BEFORE DEMOLITION AND GRADING BEGIN:

1. Install silt fence around the perimeter of the construction area as shown on this plan.
2. Install inlet protection at inlets to the storm sewer system that receive storm water from areas to be disturbed on this site using Road Drain Top Slab Model RO 23 (fits rough opening for 2x3" inlet), Road Drain Top Slab Model RO 27 (fits rough opening for 27" inlet), or Road Drain Top Slab Model CG 3057 (fits Neenah Casting with 35-1/4"x17-3/4" dimensions) manufactured by WIMCO, 799 Theis Drive, Shakopee, MN. 55379, Phone (952) 233-3055.
3. Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
4. A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.

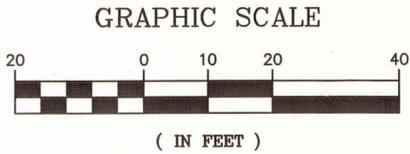
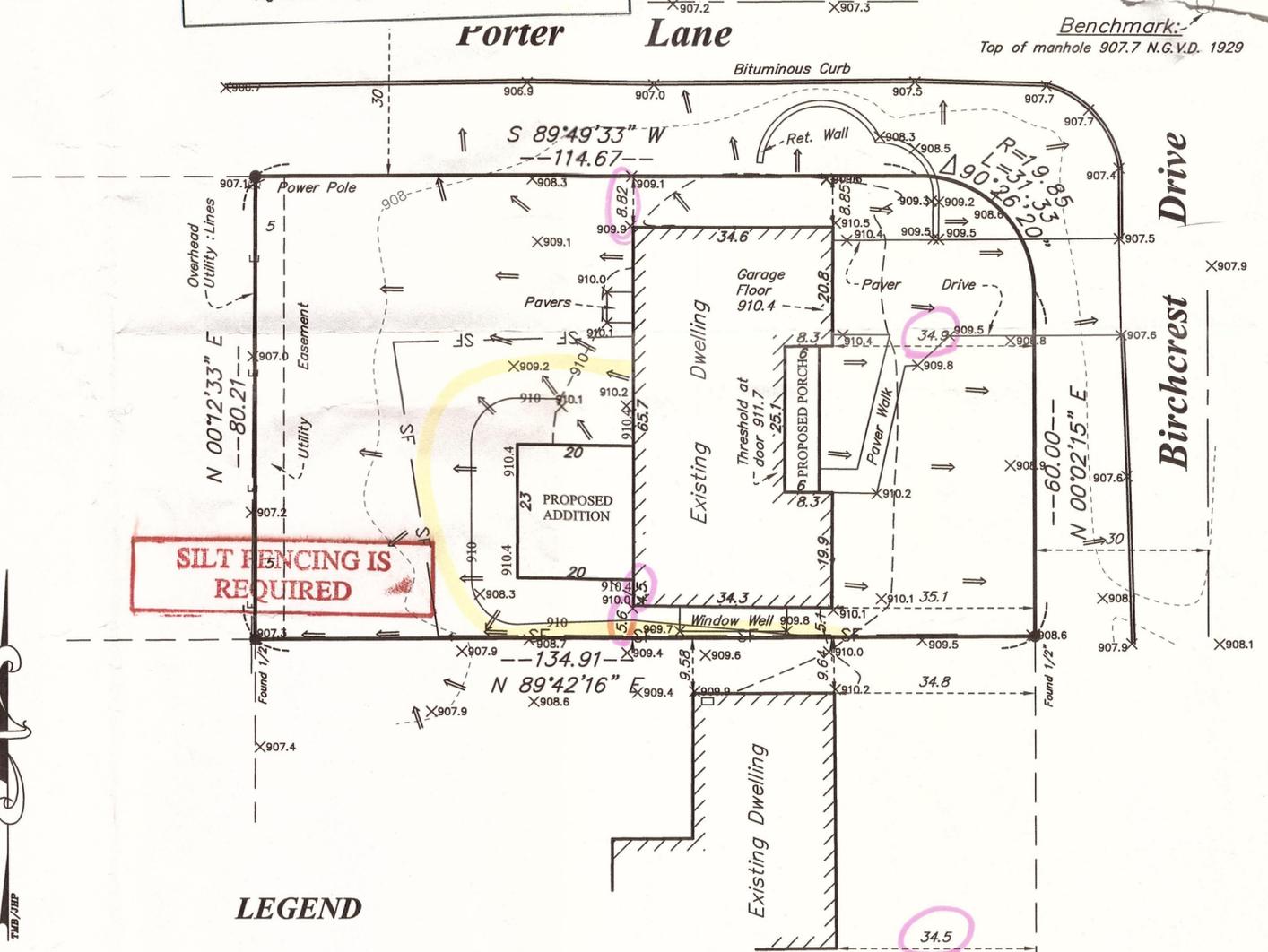
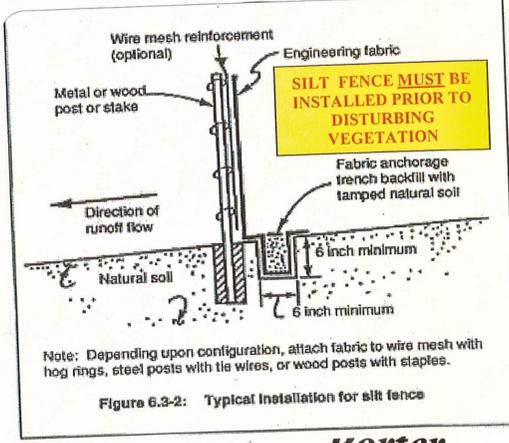
DURING CONSTRUCTION:

5. When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
6. A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
7. A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
8. Concrete truck washout shall be in the plastic lined ditch shown on this plan for "CONCRETE WASHOUT" and dispose of washings as solid waste.
9. Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
10. Streets, alleys, sidewalks and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed. The contact person for this site is Lindsey Gorski, 612 743 7901; lindsey_k_gorski@uhc.com.
11. If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.
12. Moisture shall be applied to disturbed areas to control dust as needed.
13. Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
14. If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
15. Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.

SITE WORK COMPLETION:

17. When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per Edina's requirements to insure that grading was properly done.
18. When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
19. When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.

EXISTING COVERAGE		PROPOSED COVERAGE	
COVERAGE		COVERAGE	
House	2,062 Sq. Ft.	House	2,062 Sq. Ft.
Shed	99	Addition	460
Patios	657	Patio	24
BUILDING COVERAGE	2,818 Sq. Ft.	Porch	151
Less Patio Credit	-150 Sq. Ft.	BUILDING COVERAGE	2,697 Sq. Ft.
NET BUILDING COVERAGE	2,668 Sq. Ft.	Less Patio Credit	-150 Sq. Ft.
AREA OF LOT	10,707 Sq. Ft.	NET BUILDING COVERAGE	2,547 Sq. Ft.
BUILDING COVERAGE%	24.92%	AREA OF LOT	10,707 Sq. Ft.
		BUILDING COVERAGE%	24.47%
IMPERVIOUS		NON COVERAGE IMPERVIOUS	
t. Wall	575 Sq. Ft.	Drive	575 Sq. Ft.
COVERAGE	163	Walk & Ret. Wall	174
ERVIOUS	738	TOTAL NON COVERAGE	749 Sq. Ft.
IMPERVIOUS TO LOT	3,556 Sq. Ft.	TOTAL IMPERVIOUS	3,446 Sq. Ft.
	33.211%	% TOTAL IMPERVIOUS TO LOT	32.18%



- LEGEND**
- DENOTES EXISTING SPOT ELEVATION
 - DENOTES PROPOSED SPOT ELEVATION
 - DENOTES EXISTING CONTOUR LINE
 - DENOTES PROPOSED CONTOUR LINE
 - DENOTES PROPOSED STORM FLOW
 - DENOTES PROPOSED SILT FENCE

6100 BIRCHCREST
 # 139146
 33.117.21.24.0027