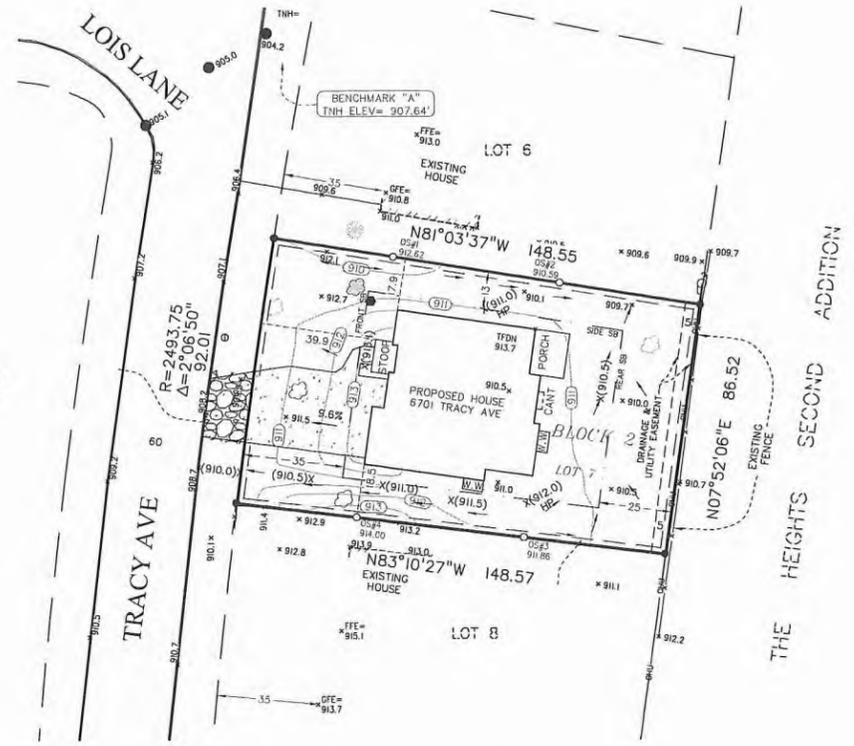


6701 Tracy Ave CG
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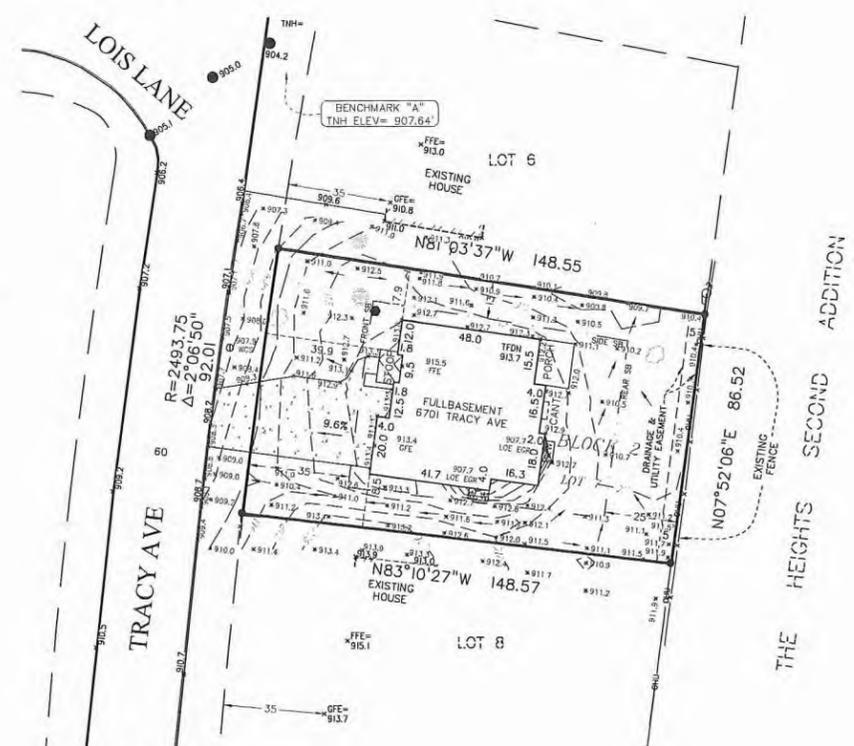
REVISED PLAN

DESCRIPTION OF PROPERTY SURVEYED
 Lot 7, Block 2, THE HEIGHTS 4TH ADDITION
 according to the recorded plat thereof, Hennepin County, Minnesota

PROPOSED CONDITIONS



EXISTING CONDITIONS



SEDIMENT & EROSION CONTROL NOTES

Storm water, Sediment, and Erosion Control Contact:

Matt Blackketter
 LDK Builders Inc.
 Phone 612-886-9963

Construction Sequencing

1. Install rock berm entrance.
2. Install silt fence around construction site.
3. Strip and stockpile existing soil.
4. Stabilize stockpile areas.
5. Excavate for new house foundation.
6. Pour and backfill foundation.
7. Construct new house.
8. After construction completion, stabilize with seed, sod, and/or landscaping.
9. Remove silt fence and reseed areas disturbed by removal.

Erosion Prevention

The contractor is for planning and implementing appropriate construction phasing, vegetative buffer strips, horizontal slope grading, and other construction practices that will minimize erosion.

To limit soil erosion, all areas of exposed soil must be stabilized within 14 days of construction being temporarily or permanently ceased.

The normal wetted perimeter of any temporary or permanent drainage ditch, swale, or diverter around the site must be stabilized within 20 lineal feet of the property edge, or from the point of discharge into any surface water. Stabilization of the last 20 lineal feet must be completed within 24 hours of connecting to a surface water. The remaining portions must be completed within 14 days connecting to surface water and construction in that area and construction in that area has been completed.

Sediment Control

The contractor is responsible for preventing or minimizing sediment loss from construction where runoff can enter into environmentally sensitive areas and drainage systems.

Sediment control measures must be installed down gradient prior to or in conjunction with soil disturbing activities.

Storm drain inlets must be protected with sediment capture devices prior to soil disturbing activities and remain in place for the duration of construction.

A rock construction entrance must be installed to minimize sediment tracking into the streets by vehicles. If the rock entrance is not adequately minimizing sediment tracking, street sweeping is to be used.

Inspections and Maintenance

It is the responsibility of the contractor to maintain erosion and sediment control devices throughout the duration of construction, including inspection and repair of all devices and disturbed areas.

The actual installation and modifications to erosion and sediment control devices may differ from the control plan to help prevent water runoff based on actual field conditions.

Stormwater Control

Final grading of the construction site will allow for adequate water runoff and avoid accumulation of storm water and maintain existing drain patterns as much as possible to avoid any damage to adjacent properties.

I hereby certify that this plan or specification was prepared by me or under my direct supervision and that I am a duly registered professional engineer under the laws of the State of Minnesota.

Nathan R. Herman
 Nathan R. Herman, P.E.
 Date: 01-12-15 Lic. No. 47982

Site Address: 6701 Tracy Ave, Edina, MN 55439

This property is contained in Zone X (Areas outside the 1-percent annual chance floodplain, areas of 1% annual chance sheet flow flooding where average depths are less than 1 foot, areas of 1% annual chance stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1% annual chance flood by levees. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones.) per Flood Insurance Rate Map, Community Panel No. 27053C0363E, effective date of September 2, 2004.

The Gross land area is 13,284 +/- square feet or .30 +/- acres.

Elevations are based on MNDOT GEODETIC MONUMENT #11744 (SHADY OAK MNDT) ELEVATION= 938.079 feet (NAVD88)

The current Zoning for the subject property is R-1 (Low Density Single Family Residential District) per the City of Edina zoning map.

The setback, height, and floor space area restrictions for said zoning designation were obtained from the City of Edina web site.

SETBACKS: Front Average Distance = 35 Feet
 Side = 13 Feet
 Rear = 25 Feet

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the conclusive restrictions for this site.

We have shown the location of utilities on the surveyed property by observed evidence only.

Existing Elevations

Existing Garage Floor Elevation = 914.0
 Existing First Floor Elevation = 914.6
 Existing Walkout Elevation = 911.0

Proposed Elevations

Proposed Garage Floor Elevation = 913.4
 Proposed First Floor Elevation = 915.6
 Proposed Top of Foundation Elevation = 913.7
 Proposed Lockout Elevation = 908.2
 Proposed Basement Elevation = 905.0

Asbuilt Elevations

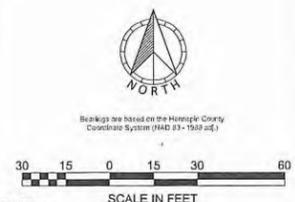
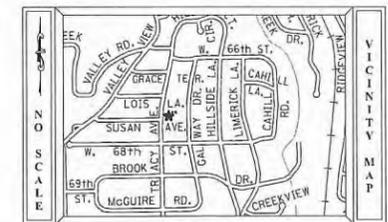
Asbuilt Garage Floor Elevation = 913.4
 Asbuilt First Floor Elevation = 915.5
 Asbuilt Top of Foundation Elevation = 913.7

Proposed Hardcover

Lot Area = 13,284 S.F.
 House Area = 2,787 S.F.
 Porch Area = 186 S.F.
 Sloop Area = 85 S.F.
 Total Area = 3,058 S.F./13,284 S.F. = 23.0% (Max = 25%)

Tree Removed

2" BIRCH
 6" CLUSTER 6
 6" CLUSTER 4



SURVEY LEGEND

CAST IRON MONUMENT	A/C UNIT	BITUMINOUS
CATCH BASIN	CABLE TV PEDESTAL	CABLE TV
FLARED END SECTION	ELECTRIC TRANSFORMER	CONCRETE CURB
GATE VALVE	ELECTRIC MANHOLE	CONCRETE
GUY WIRE	ELECTRIC METER	CONTOUR EXISTING
HYDRANT	GAS METER	CONTOUR PROPOSED
IRON PIPE SET	GAS VALVE	DT DRAIN TILE
IRON PIPE FOUND	GUARD RAIL	ELECTRIC UNDERGROUND
LIGHT POLE	HAND HOLE	FENCE
POWER POLE	TREE CONIFEROUS	FIBER OPTIC UNDERGROUND
SANITARY MANHOLE	TREE DECIDUOUS	GAS UNDERGROUND
SANITARY CLEANOUT	TREE TO BE REMOVED	OVERHEAD UTILITY
SIGN	PROPOSED 2" TREE DECIDUOUS	SANITARY SEWER
GROUND ELEVATION	TELEPHONE PEDESTAL	STORM SEWER
STORM DRAIN	TRAFFIC SIGNAL	TELEPHONE UNDERGROUND
STORM MANHOLE	UTILITY MANHOLE	UTILITY UNDERGROUND
YARD LIGHT	UTILITY PEDESTAL	WATERMAIN

FIELD CREW	NO.	BY	DATE	REVISIONS
CL,SW	1	BRV	03-03-15	STAKED HOUSE IN FIELD
DRAWN BY	2	BRV	03-27-15	FOUNDATION ASBUILT
BRV	3	BRV	07-31-15	GRADING ASBUILT
CHECKED BY	4	BRV	10-28-15	GRADING ASBUILT
DBP				(SWALE ADDED SOUTH SIDE OF HOUSE)
DATE				
12/18/14				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Dated this 12th day of January, 2015.
David B. Pemberton
 David B. Pemberton, PLS
 Minnesota License No. 40344
 pemberton@sathre.com

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

TWP.116 - RGE.21 - SEC.05
 HENNEPIN COUNTY
 BOOK XXX/PAGE XXX

EDINA, MINNESOTA

GRADING ASBUILT

PREPARED FOR:
LDK BUILDERS

FILE NO.
 5035-107

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