

ADDRESS: 4912 RIDGE PL.  
 EDINA, MN 55424

# PROPOSED SITE PLAN FOR: TC HOMEBUILDERS

## Legend

- SAN — Sanitary Sewer
- WTR — Water Main
- ☒ Catch Basin
- Manhole
- Light Pole
- Power Pole
- Water Shutoff
- Concrete Curb
- Concrete Retaining Wall
- Proposed Retaining Wall
- Existing Elevation
- Proposed Elevation
- Top of Curb Elevation
- Top of Wall Elevation
- Existing Contour
- Proposed Contour
- Found Iron Monument
- Set, 1/2" x 14" Iron Pipe Inscribed w/ R.L.S 15230

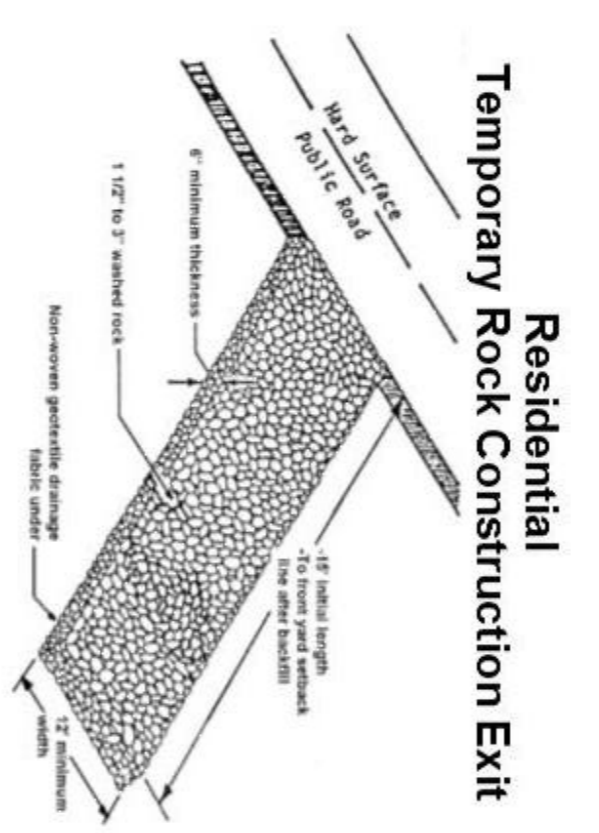
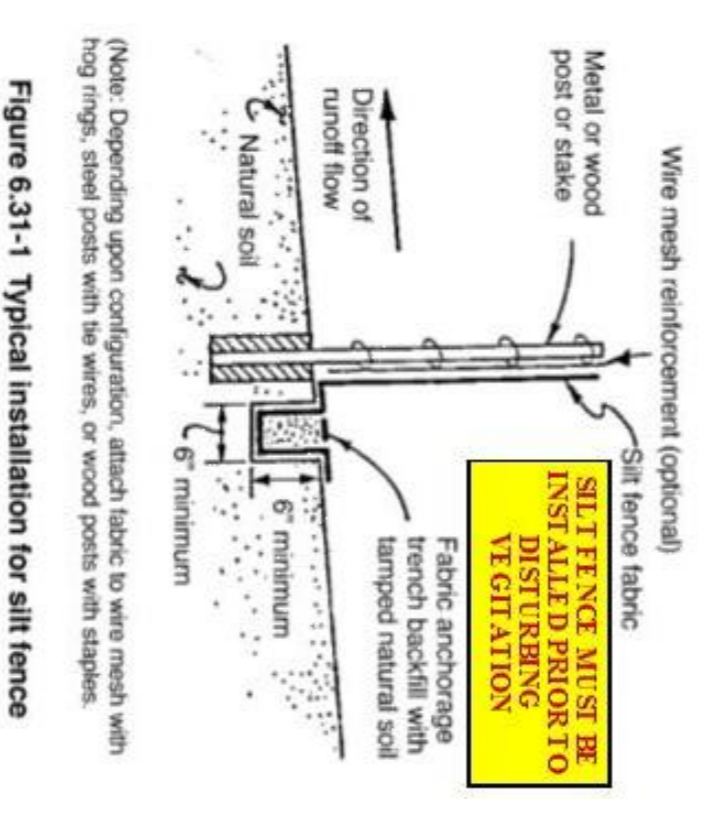
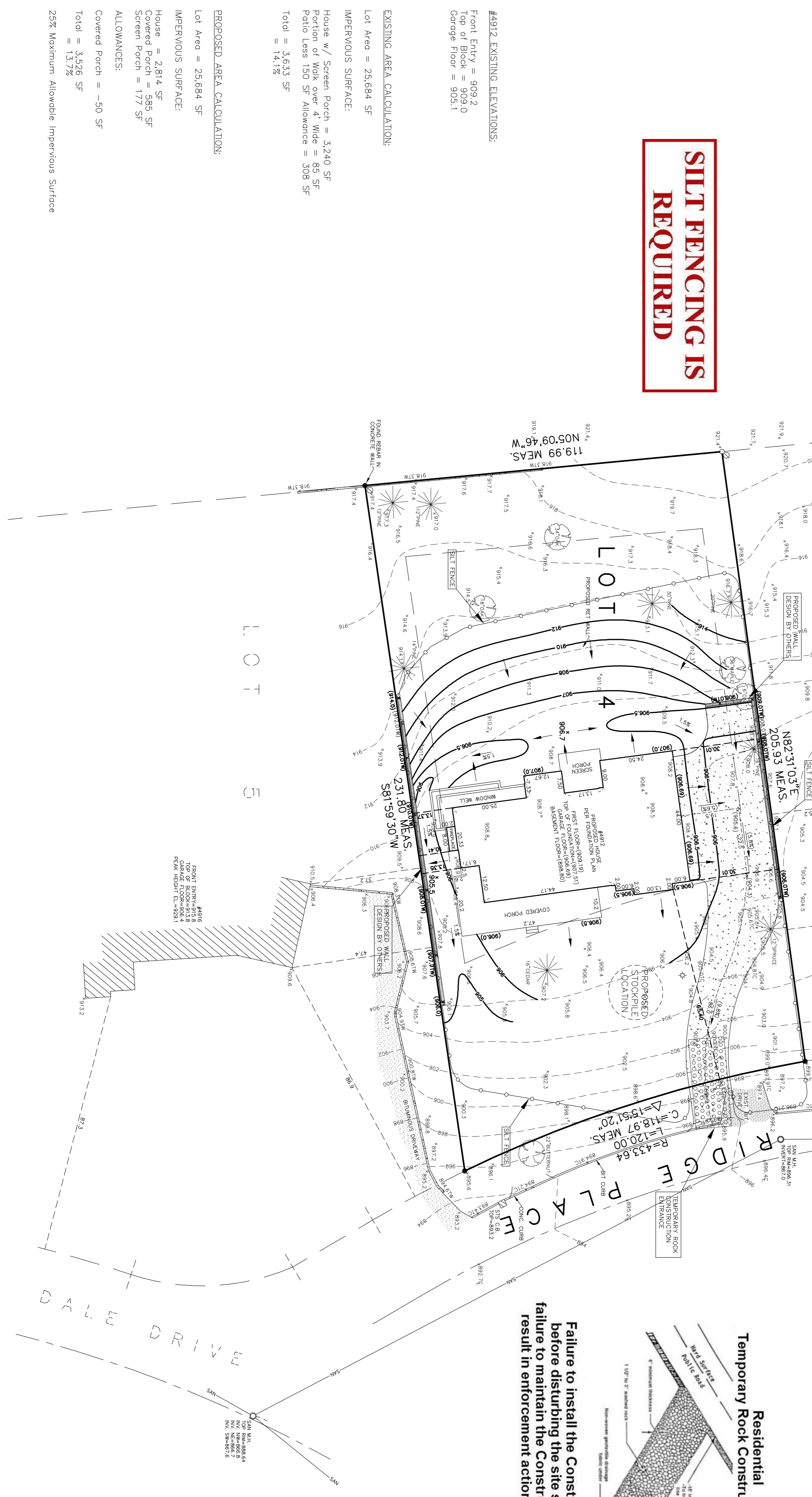
EFFE=909.17  
 PFFE=909.19

POTF  
 Sill Plate  
 Floor Truss  
 Subfloor

907.51  
 .1250  
 1.5000  
 .0625

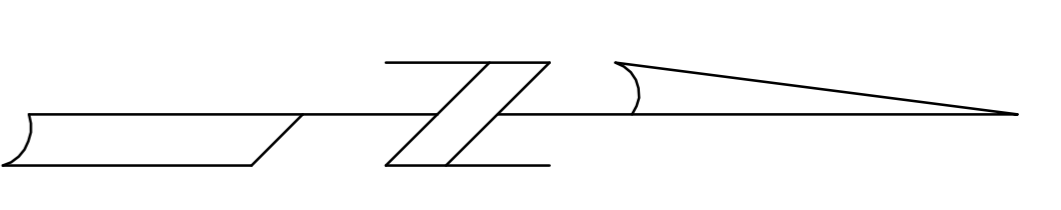
Total 909.1975

**SILT FENCING IS  
 REQUIRED**



**Failure to install the Construction Exit before disturbing the site soils and/or failure to maintain the Construction Exit will result in enforcement action by the City.**

SCALE: 1 INCH = 20 FEET



PROPERTY DESCRIPTION:  
 LOT 4, BLOCK 5, SUNNY SLOPE SECTION COUNTRY CLUB DISTRICT,  
 Hennepin County, Minnesota.

BENCHMARK:  
 Edina #979  
 I.N.H. on the North Corner of Ridge Place and Dale Dr.  
 Elevation = 892.52.

- NOTES:
- All proposed floor elevations to be verified by builder.
  - All existing building dimensions are measured to the finished siding and not the building foundation.
  - No Search Was Made For Any Easements.
  - The location of all utilities shown are from either observed utility files or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.  
 Woodrow A. Brown, R.L.S. MN REG 15230  
 Dated: 09-12-2016

EXISTING CONDITION	52-16 147/40	04-05-2016	CME
PROPOSED SITE PLAN	145-16	07-11-2016	CME
HOUSE STAKE			
TOP OF WALL AS-BUILT			
FINAL AS-BUILT			

W. BROWN LAND SURVEYING, INC.  
 8030 Cedar Avenue So., Suite 228,  
 Bloomington, MN 55425  
 Bus: (952) 854-4055  
 Fax: (952) 854-4288

Drawing: 145-16 Date: 09-12-2016 1 of 1  
 Scale: 1 inch = 20 Feet

PROPOSED AREA CALCULATION:  
 Lot Area = 25,684 SF  
 IMPERVIOUS SURFACE:  
 House = 2,814 SF  
 Covered Porch = 355 SF  
 Screen Porch = 177 SF  
 ALLOWANCES:  
 Covered Porch = -50 SF  
 Total = 3,528 SF  
 = 13.7%  
 25% Maximum Allowable Impervious Surface

#4912 EXISTING ELEVATIONS:  
 Front Entry = 909.2  
 Top of Block = 909.0  
 Garage Floor = 905.1

EXISTING AREA CALCULATION:  
 Lot Area = 25,684 SF  
 IMPERVIOUS SURFACE:  
 House w/ Screen Porch = 3,240 SF  
 Portion of Walk over 4 Wide = 85 SF  
 Patio Less 150 SF Allowance = 308 SF  
 Total = 3,633 SF  
 = 14.1%