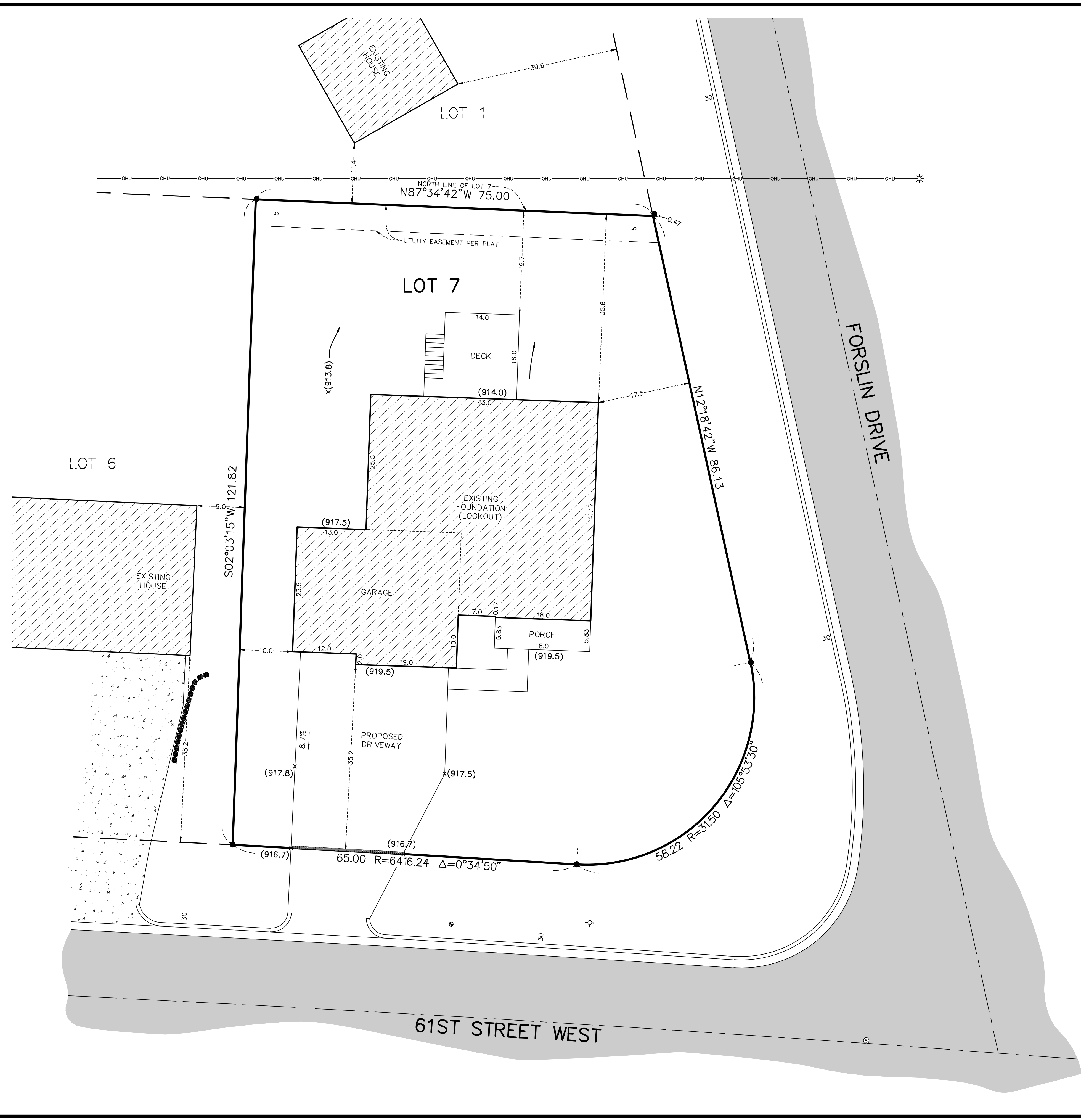


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PROPERTY DESCRIPTION
 Lot 7, Block 3, BIRCHCREST THIRD ADDITION, Hennepin County, Minnesota.

- NOTES**
1. Subject property's address is 5300 61st Street West, Edina, Minnesota.
 2. The bearing system is based on the North line of Lot 7, Block 3, BIRCHCREST THIRD ADDITION which is assumed to bear North 87 degrees 34 minutes 42 seconds West.
 3. Field work was completed 3/2/2018.
 4. The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.
 5. No specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as a part of this survey. Only easements per the recorded plat are shown.
 6. The gross area of the subject property is 0.246 Acres or 10,729 square feet.

BENCHMARK
 The vertical datum is based on NGVD29 datum.
 Benchmark #1
 Top nut hydrant at Northeast Quadrant of 61st Street West and Hansen Road. Elevation = 907.69
 Existing First Floor Elevation = 922.38 feet

EXISTING HARD COVER CALCULATIONS

Lot	= 10,729 sq. ft.
House/Garage	= 1,254 sq. ft.
Front Stoop and Sidewalk	= 208 sq. ft.
Rear Stoop	= 8 sq. ft.
Concrete Driveway	= 535 sq. ft.
Total Impervious	= 2,005 sq. ft. or 18.7% of lot

PROPOSED HARD COVER CALCULATIONS

Lot	= 10,729 sq. ft.
House/Garage	= 2,254 sq. ft.
Front Porch and Sidewalk	= 181 sq. ft.
Driveway	= 961 sq. ft.
Deck	= 266 sq. ft.
Total Impervious	= 3,662 sq. ft. or 34.1% of lot

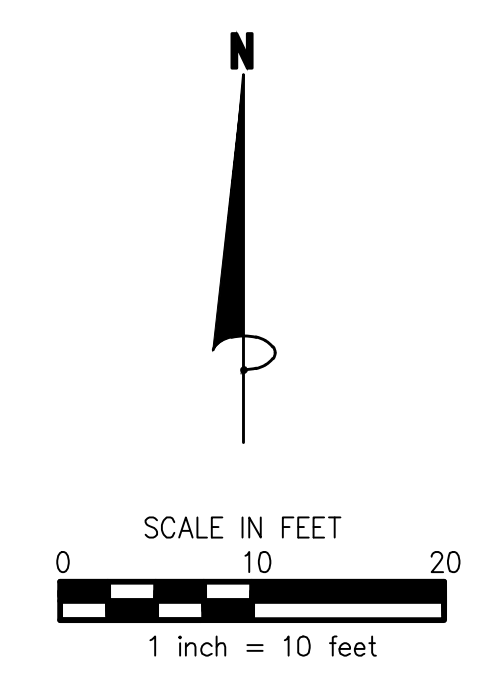
FLOOR ELEVATIONS

	Proposed	As-built
Garage Floor @ Front	= 919.8	
Garage Top of Block	= 920.2	= 920.3
House Top of Block	= 920.2	= 920.3
First Floor	= 921.76	
Lowest Floor	= 911.5	= 911.6
Top of Block		
at Lookout Window	= 914.7	= 914.8

SURVEYOR'S CERTIFICATE
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. That this survey does not purport to show all improvements, easements or encroachments, to the property except as shown thereon.

Signed this 23rd day of March, 2018

 Marcus F. Hampton MN L.S. No. 47481



LEGEND

●	FOUND OPEN 1/2" IRON PIPE
○	CURB STOP
⊙	CONIFEROUS TREE
⊕	DECIDUOUS TREE
OHU	OVERHEAD UTILITY
X	SPLIT RAIL WOOD FENCE
▭	CONCRETE SURFACE
▭	BITUMINOUS SURFACE
x900.0	EXISTING SPOT ELEVATION
- - - 1000	EXISTING CONTOUR
⊕	HYDRANT
⊕	ELECTRIC METER
⊕	GAS METER
⊕	AIR CONDITIONER UNIT

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2500 WEST C.R. 42, SUITE 120, BURNSVILLE, MN 55337
 PHONE: 952.890.6044 www.jrhinc.com

5300 61ST STREET WEST
 EDINA, MINNESOTA
 CERTIFICATE OF SURVEY-FOUNDATION AS-BUILT
 FOR
 CRAFT HOMES, LLC
 4171 YOSEMITE AVENUE SOUTH, ST. LOUIS PARK, MN 55416

DRAWN BY	PLM
DATE	3/23/2018
REVISIONS	
4/25/18 Hardcover Area	
5/18/18 WATERSHED COMMENTS	
7/18/18 House staking	
7/31/18 Foundation as-built	
CAD FILE	23522ex.dwg
PROJECT NO.	23522
FILE NO.	1-18-011
SHEET 2 OF 4	