

**Agenda**  
**Heritage Preservation Commission**  
**City Of Edina, Minnesota**

**Tuesday, January 14, 2020**  
**7:00 PM**

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
  - A. December 10, 2019 HPC Minutes
- V. Community Comment

*During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.*

- VI. Reports/Recommendations
  - A. COA: 4508 Bruce Avenue
  - B. Sketch Plan-4600 Browndale Ave
  - C. COA Policy/Processes
  - D. Country Club ReSurvey
  - E. Heritage Award
- VII. Chair And Member Comments
- VIII. Staff Comments
  - A. 2020 HPC Work Plan

- IX. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** IV.A.

**To:** Heritage Preservation Commission

**Item Type:**

Minutes

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** December 10, 2019 HPC Minutes

Action

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### **ACTION REQUESTED:**

Approve the December 10, 2019 Heritage Preservation Commission minutes.

### **INTRODUCTION:**

### **ATTACHMENTS:**

December 10, 2019 HPC Minutes



Minutes  
City Of Edina, Minnesota  
Heritage Preservation Commission  
Edina City Hall  
Tuesday, December 10, 2019

**I. Call To Order**

Chair Birdman called the meeting to order at 7:00 p.m.

**II. Roll Call**

Answering roll call were members Lonquist, Davis, Widmoyer, Nymo, Blake, Mondry, Chair Birdman and student member Bowles. Emily Bodeker, staff liaison, and Robert Vogel, Preservation Consultant, were also in attendance.

**III. Approval of Meeting Agenda**

***Motion made by Nymo seconded by Lonquist to approve the meeting agenda as submitted. All voted aye. The motion carried.***

**IV. Approval of Meeting Minutes**

***Motion made by Davis seconded by Blake to approve the meeting minutes from November 11, 2019. All voted aye. The motion carried.***

**V. Community Comment: None**

**VI. Reports/Recommendations**

**A. Country Club Resurvey**

Preservation Consultant Vogel presented the Country Club resurvey report. Commissioner Lonquist had a few questions on the numbers used in the report. Preservation Consultant Vogel informed the Commission that he could answer specific questions at the next HPC meeting when he presents a second resurvey related document. The Commission will continue the Country Club Resurvey document at the next HPC meeting in January.

**B. COA Policy/Process**

Staff Liaison Bodeker discussed her proposed changes to the COA administrative process. She proposed the HPC require elevation drawings showing the percentage of walls/roof being removed on a proposed project. She also proposed that the Commission should send notices to properties within 200 feet for COAs. The Commission requested that staff draft up the proposed language for what is required on the application and for the 200 foot notification area.

**VII. Chair and Member Comments:** None

**VIII. Staff Comments**

Staff informed the Commission that the 2020 meeting dates have been finalized and provided a meeting schedule. She also informed the Commission that 2020 workplans and the 2018 Comprehensive Plan update have been approved by Council. She informed the Commission that Judge Robiner granted the City's motion for summary judgement in Webb v. City of Edina.

**IX. Adjournment**

**The meeting ended at 8:25 p.m.**

**Respectfully submitted,**  
*Emily Bodeker*





## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VI.A.

**To:** Heritage Preservation Commission

**Item Type:**  
Report and Recommendation

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** COA: 4508 Bruce Avenue

Action

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### **ACTION REQUESTED:**

Approve the Certificate of Appropriateness for the demolition of the attached existing garage and construction of a new attached garage at 4508 Bruce Avenue.

### **INTRODUCTION:**

See attached.

### **ATTACHMENTS:**

Staff Report

Applicant Submittal

Aerial Map



**Date:** January 14, 2020

**To:** Heritage Preservation Commission

**From:** Emily Bodeker, Assistant City Planner

**Subject:** Certificate of Appropriateness: 4508 Bruce Avenue-New Attached Garage

## **Information / Background:**

The subject property, 4508 Bruce Avenue is located on the west side of Bruce Avenue, south of Sunnyside Road and north of Bridge Street. The home is a two-story Tudor Revival Style built in 1938.

The Certificate of Appropriateness request entails the demolition of the existing attached 1 ½ stall garage and replacing it with a two-stall garage addition with living space above. The proposed addition will be consistent with the current building materials.

The proposed additions and project meet all of the City's setbacks, lot coverage, and zoning requirements of the City's code.

## **Primary Issues:**

Although the proposed addition will not be visible from the street, it requires a Certificate of Appropriateness. This project requires a Certificate of Appropriateness due to the demolition of the existing attached garage and the construction of the proposed attached garage.

## **Preservation Consultant Robert Vogel's Comments:**

The subject property is a two-story residence built in 1938. For planning purposes, it has been classified as an example of the Tudor Revival style. While the house does not qualify for individual designation as an Edina Heritage Landmark, it contributes to the historical significance of the district as a whole and is therefore considered a heritage preservation resource.

Homes with attached garages are common in the Country Club District, where roughly one-third of the houses constructed during the district's period of historical significance (1924-1944) had attached garages. The construction of additional living space above the attached garage is also common. Based on the plans presented, the proposed replacement garage meets the design guidelines in the district plan of treatment. It matches the architectural character of the house and will not detract from the historic significance of the neighborhood. The design of the second-floor addition also appears to be compatible with the historic architecture in size, scale, massing, materials and other visual qualities and no significant character defining architectural features will be altered or destroyed. I recommend approval of the COA.

### **Staff Recommendation & Findings:**

Staff concurs with Consultant Vogel's evaluation of the proposed plans for the addition at 4508 Bruce Avenue, also recommending approval of the Certificate of Appropriateness request.

Findings supporting the recommendation include:

- The plans provided with subject request clearly illustrate the scale and scope of the proposed projects.
- The proposed addition would not detract with the historic character of the house.
- The information provided supporting the subject Certificate of Appropriateness meets the requirements of the Zoning Ordinance and the Country Club District Plan of Treatment.

Conditions for approval:

- The plans presented
- A year-built plaque be installed on the new garage

Edina Heritage Preservation Board – project narrative

The proposed project, at 4508 Bruce Avenue, is a 2-story addition to the rear of the home replacing the existing 1 ½ stall garage with a 2-car garage and additional living space. This addition was thoughtfully designed with the historical aesthetic of the 1938 built home and the Country Club District architectural guidelines in mind.

The façade of the addition will be an extension of the current structure, keeping the roof form consistent and height compatible with adjacent existing homes. The exterior finishes will also be consistent with the current materials – including locally sourced brick to match the existing as close as possible.

PLANNING DEPARTMENT

DEC 26 2019

CITY OF EDINA

SITE ADDRESS: 4508 BRUCE AVE.  
EDINA, MN 55424

# EXISTING CONDITION SURVEY FOR: MIKE SHIENA

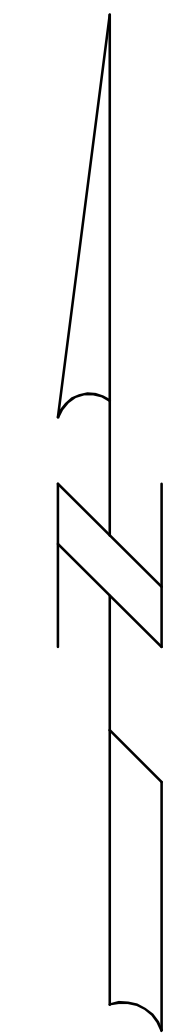
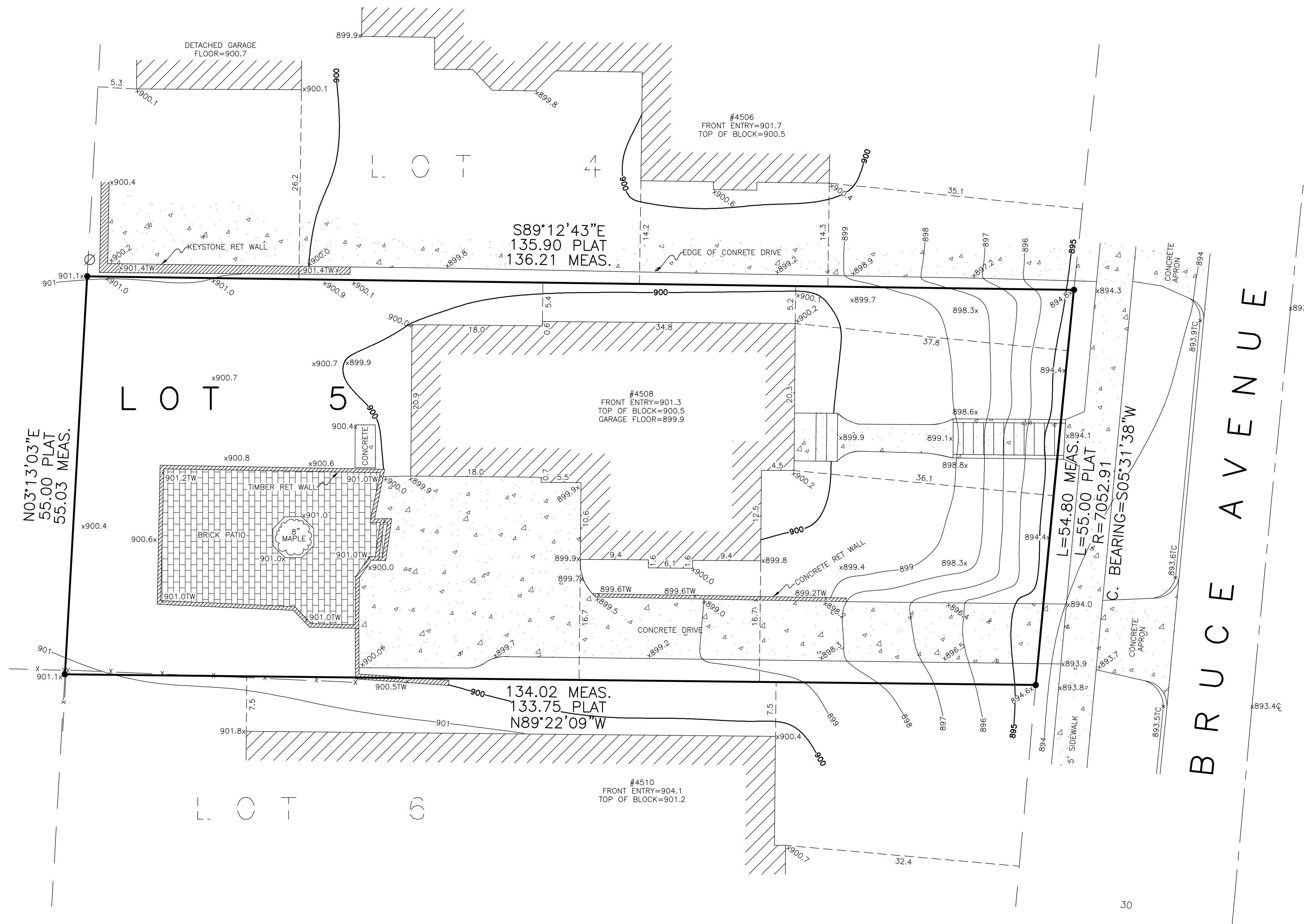
## Legend

- x — x — Fence
- ⊕ Light Pole
- ⊙ Power Pole
- Deciduous Tree
- ▨ Retaining Wall
- x900.0 Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- 900— Existing Contour

- Denotes Iron Monument Found
- Denotes Set, 1/2" x 14" Iron Pipe w/ Plastic Cap Inscribed R.L.S. 15230.

### EXISTING AREAS:

Lot Area = 7,401 SF  
IMPERVIOUS SURFACE:  
Existing House = 1,413 SF  
Brick Patio Less 150 SF Allowance = 454 SF  
Total = 1,867 SF  
= 25.2%



SCALE: 1 INCH = 10 FEET

PROPERTY DESCRIPTION: Lot 5, Block 4, COUNTRY CLUB DISTRICT  
FAIRWAY SECTION, Hennepin County, Minnesota.

BENCHMARK: Garage Floor at 4504 Bruce Ave.  
Elevation = 902.00.

NOTE: No Search Was Made For Any Easements

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

*Woodrow A. Brown*  
Woodrow A. Brown, R.L.S. MN REG 15230

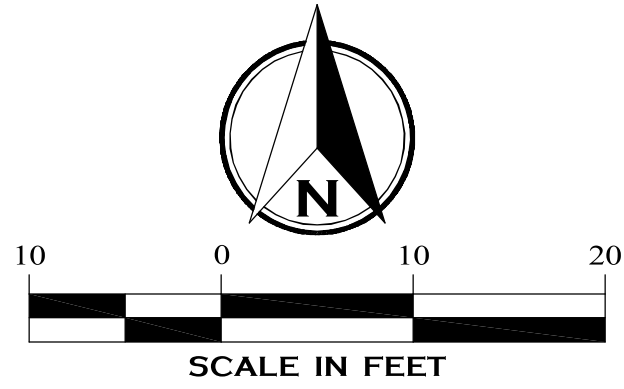
Dated: 10-01-2012

W. BROWN LAND SURVEYING, INC.  
8030 Cedar Avenue So., Suite 228.  
Bloomington, MN 55425  
Bus: (952) 854-4055  
Fax: (952) 854-4268

Drawing: 201-12	Date: 10-01-2012	1 of 1
Scale: 1 inch = 10 Feet		



# PROPOSED SITE PLAN FOR: LECY BROS. HOMES & REMODELING



## LEGEND

- Proposed Silt Fence
- Fence
- Light Pole
- Power Pole
- Timber Retaining Wall
- Stone Retaining Wall
- Existing Elevation
- Top of Curb Elevation
- Top of Wall Elevation
- Existing Contour
- Found Iron Monument
- Set Iron Monument
- Inscribed R.L.S. 15230

**EXISTING LOT COVERAGE:**  
Lot Area = 7,401 SF

**EXISTING IMPERVIOUS SURFACE:**  
Lot Area = 7,401 SF

**COVERAGE:**  
House = 1,413 SF  
Brick Patio = 604 SF

**ALLOWANCES:**  
Patio = -150 SF  
Total = 1,867 SF  
= 25.2%

**PROPOSED LOT COVERAGE:**  
Lot Area = 7,401 SF

**COVERAGE:**  
Existing House = 1,413 SF  
Demo Existing Garage = -376 SF  
Proposed Addition w/ Cantilevers = 775 SF  
Demo/Rebuild Brick Patio = 257 SF

**ALLOWANCES:**  
Patio = -150 SF  
Total = 1,919 SF  
= 25.9%

30% Maximum Allowable Lot Coverage

**PROPOSED IMPERVIOUS SURFACE:**  
Lot Area = 7,401 SF

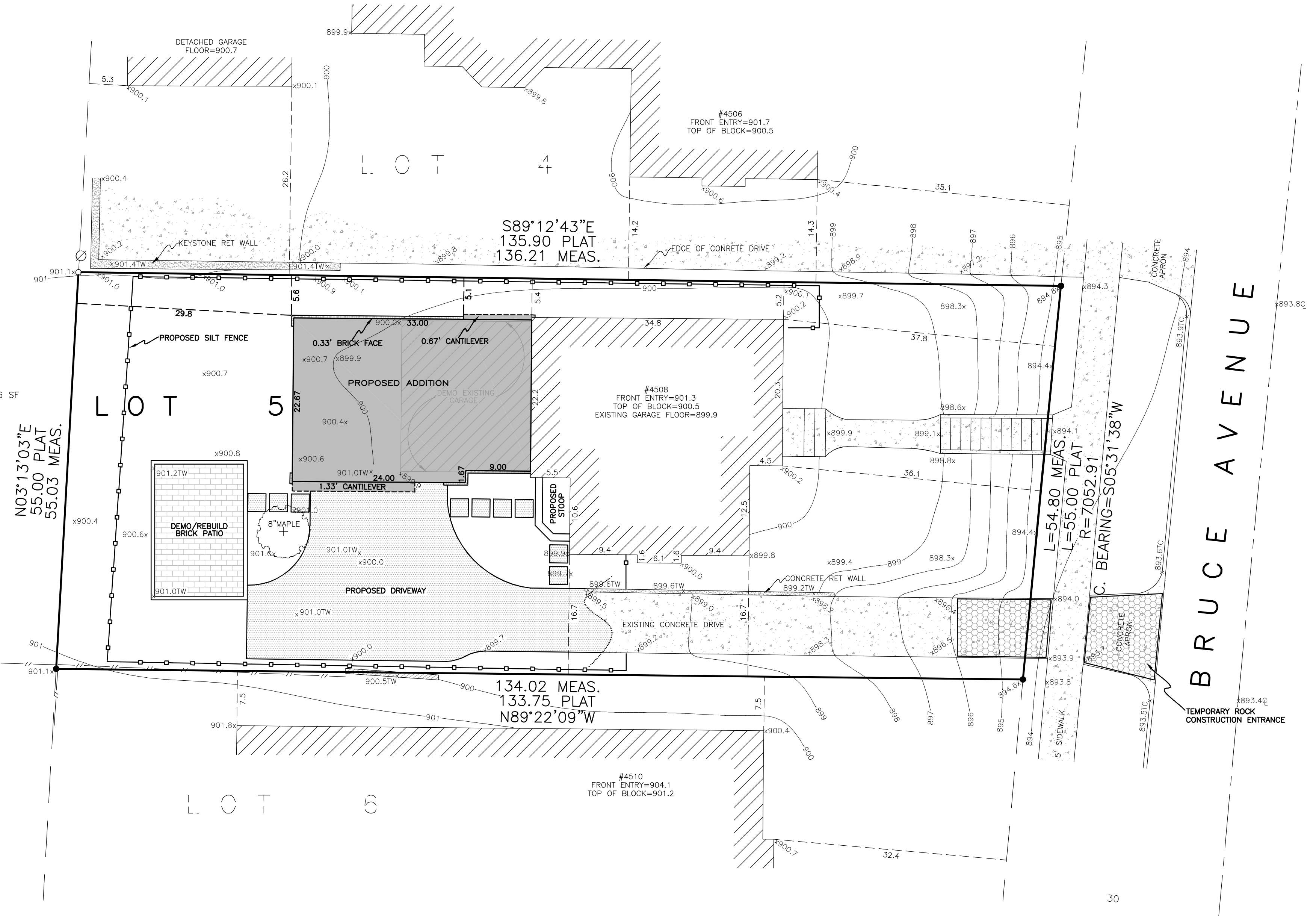
**IMPERVIOUS SURFACE:**  
Existing House = 1,413 SF  
Existing Front Walk & Stoop = 185 SF  
Demo Existing Garage = -376 SF  
Proposed Addition w/ Cantilevers = 775 SF  
Demo/Rebuild Brick Patio = 257 SF  
Existing/Proposed Driveway = 1,270 SF  
Proposed Stoop = 40 SF  
Proposed Walks = 56 SF

Total = 3,620 SF  
= 48.9%

50% Maximum Allowable Impervious Surface

\* Existing Condition Survey completed October 01, 2012.

- NOTES:**
- All existing building dimensions are measured to the finished siding and not the building foundation.
  - No search was made for any easements.
  - The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.



<b>JOB NO.</b> 384-19	<b>SCALE</b> 1" = 10'	<b>DATE</b>	<b>REVISIONS</b>	<b>SITE ADDRESS</b> 4508 Bruce Ave. Edina, MN 55424
<b>BOOK/PAGE</b>	<b>DRAWN</b> CME		<b>REMARKS</b>	<b>PROPERTY DESCRIPTION</b> Lot 5, Block 4, COUNTRY CLUB DISTRICT FAIRWAY SECTION, Hennepin County, Minnesota.
<b>SHEET</b> 1 of 1	<b>REFERENCE</b> 201-12 127/30			<b>BENCHMARK</b> Garage floor at 4504 Bruce Ave. Elevation = 902.00.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

**W. BROWN LAND SURVEYING, INC.**

*Woodrow A. Brown*  
WOODROW A. BROWN, R.L.S. MN REG 15230

DATED: 12-13-2019

**W. BROWN LAND SURVEYING, INC.**  
8030 CEDAR AVENUE SO., SUITE 228.  
BLOOMINGTON, MN 55425  
Bus: (952) 854-4055  
Fax: (952) 854-4268  
EMAIL: INFO@WBROWNLANDSURVEYING.COM

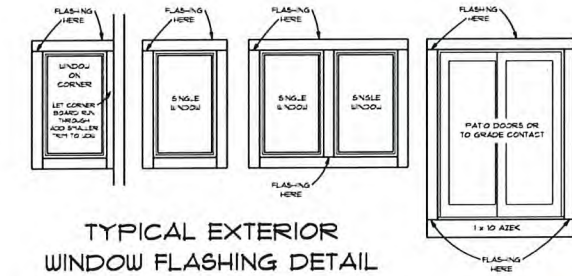




**North Elevation**  
Scale  $\frac{1}{4}'' = 1'-0''$



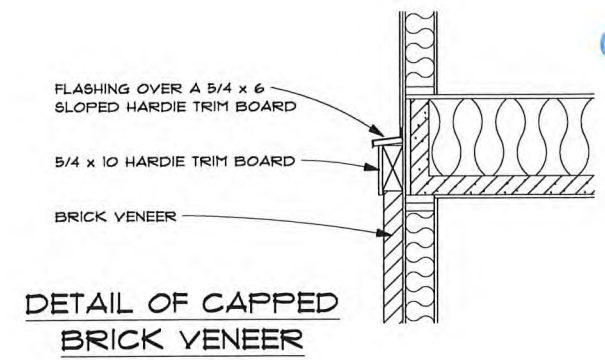
**West Elevation**  
Scale  $\frac{1}{4}'' = 1'-0''$



**TYPICAL EXTERIOR WINDOW FLASHING DETAIL**



**South Elevation**  
Scale  $\frac{1}{4}'' = 1'-0''$



**DETAIL OF CAPPED BRICK VENEER**

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DEC 26 2019

CITY OF EDINA

**Lecky Bros.**  
HOMES & REMODELING

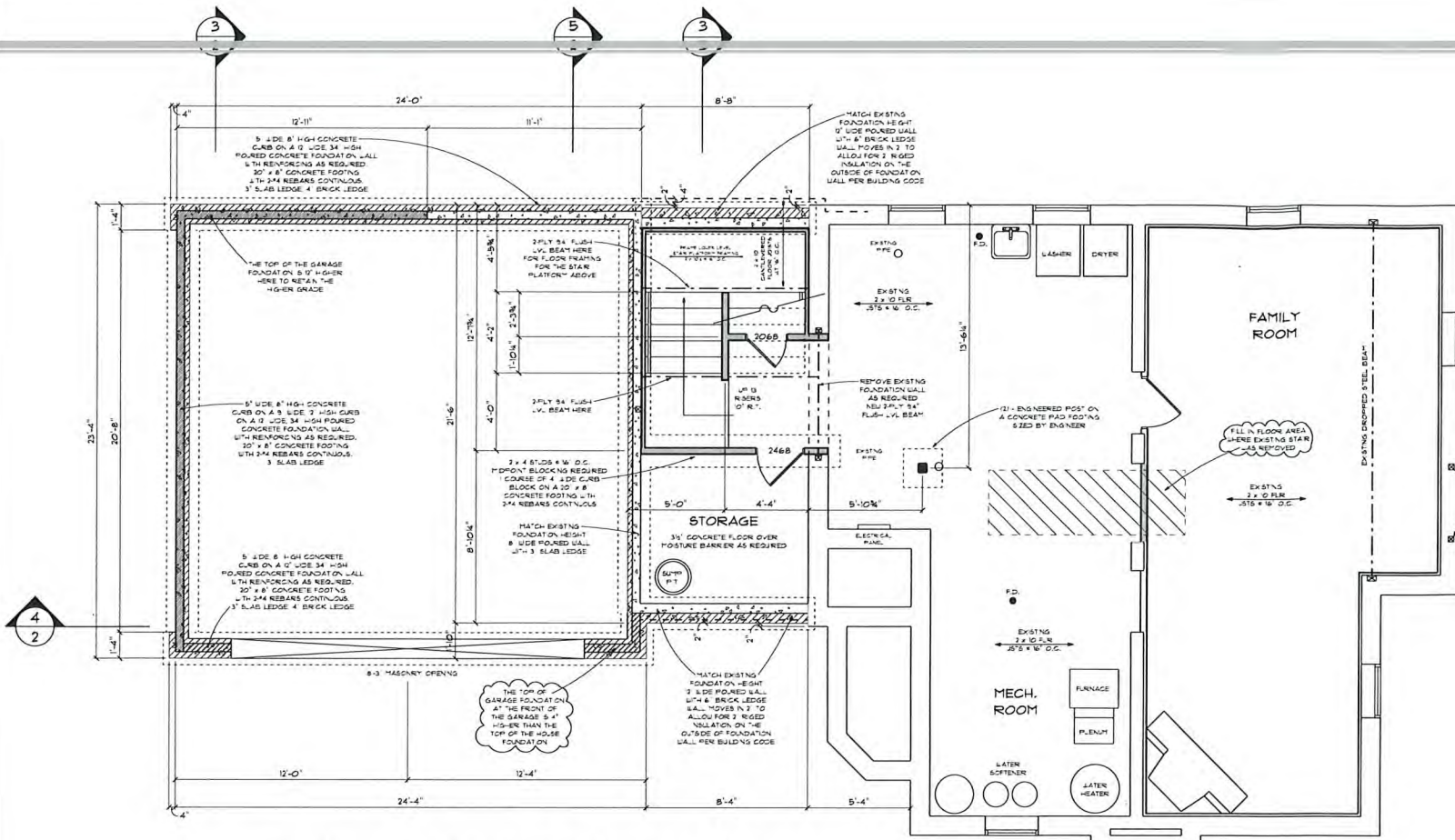
15012 Highway 7  
Minnetonka, Mn 55345  
Office: 952 - 944 - 9499  
Fax: 952 - 942 - 1066  
Licensed Building Contractor #0329555  
This home may not be used, photocopied or reproduced in any form without prior written consent of Lecky Bros. Homes, Inc., according to Minnesota Copyright Law of the United States.

Revision History	Job Supervisor
November 28, 2019	Lockbox Completion
December 2, 2019	Permit
December 1, 2019	Inspection

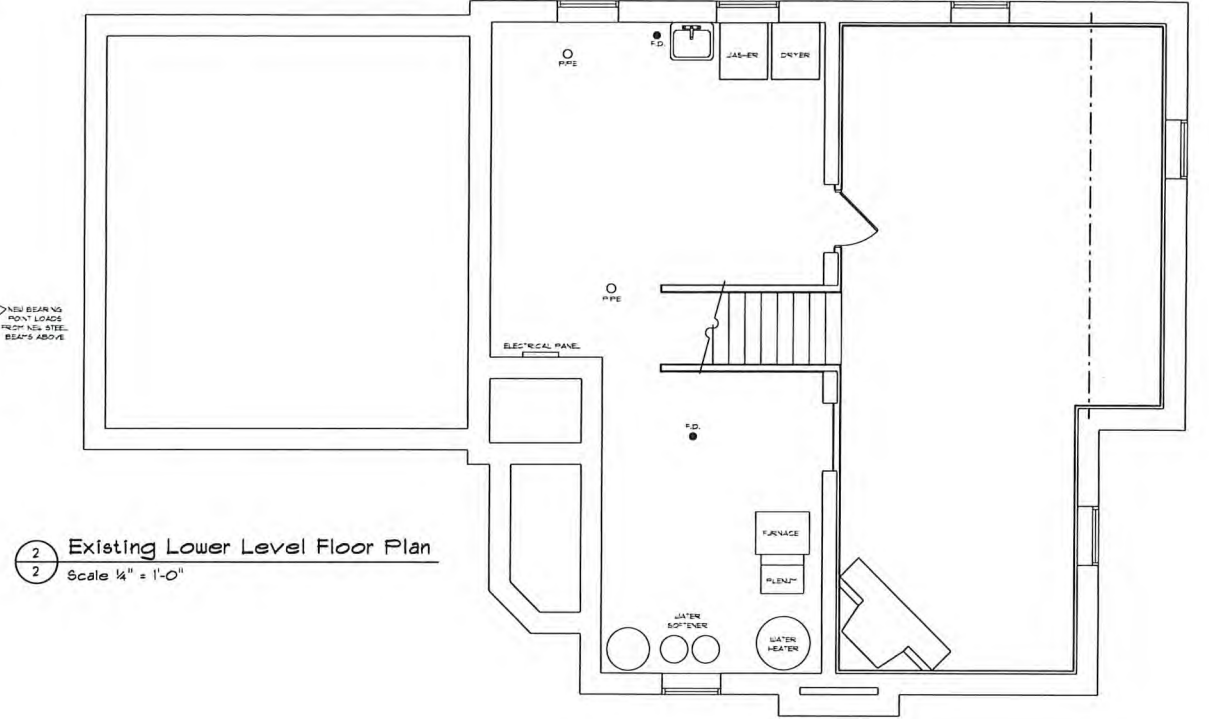
Open Items:

Custom Remodel For: **Michael & Melissa Schiena**  
Address: **4508 Bruce Avenue Edina, Minnesota 55424**  
Sheet **1** of

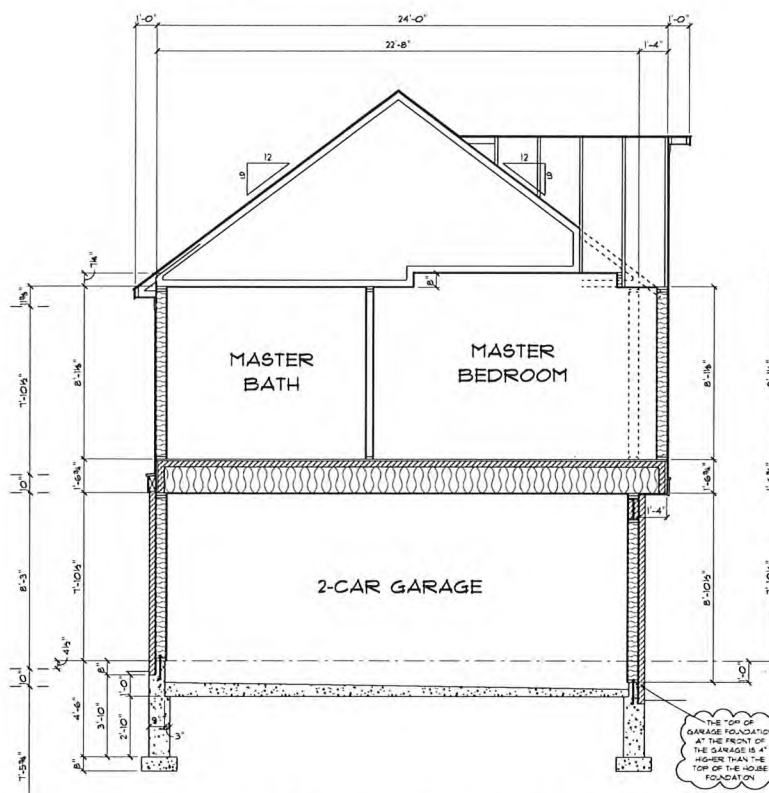




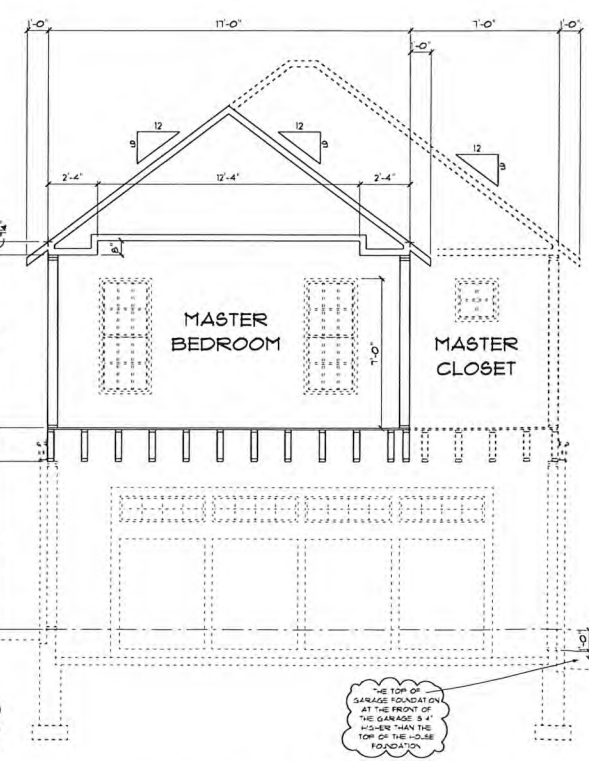
1 Lower Level Floor Plan  
 2 Scale 1/4" = 1'-0"



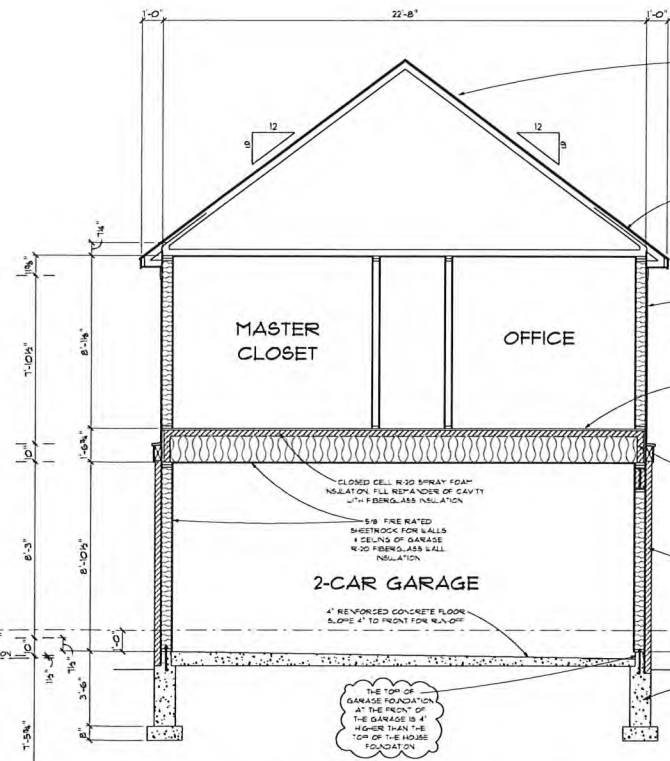
2 Existing Lower Level Floor Plan  
 2 Scale 1/4" = 1'-0"



3 BUILDING CROSS SECTION  
 2 SCALE 1/4" = 1'-0"

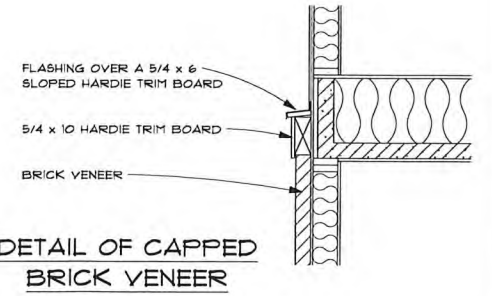


4 BUILDING CROSS SECTION  
 2 SCALE 1/4" = 1'-0"

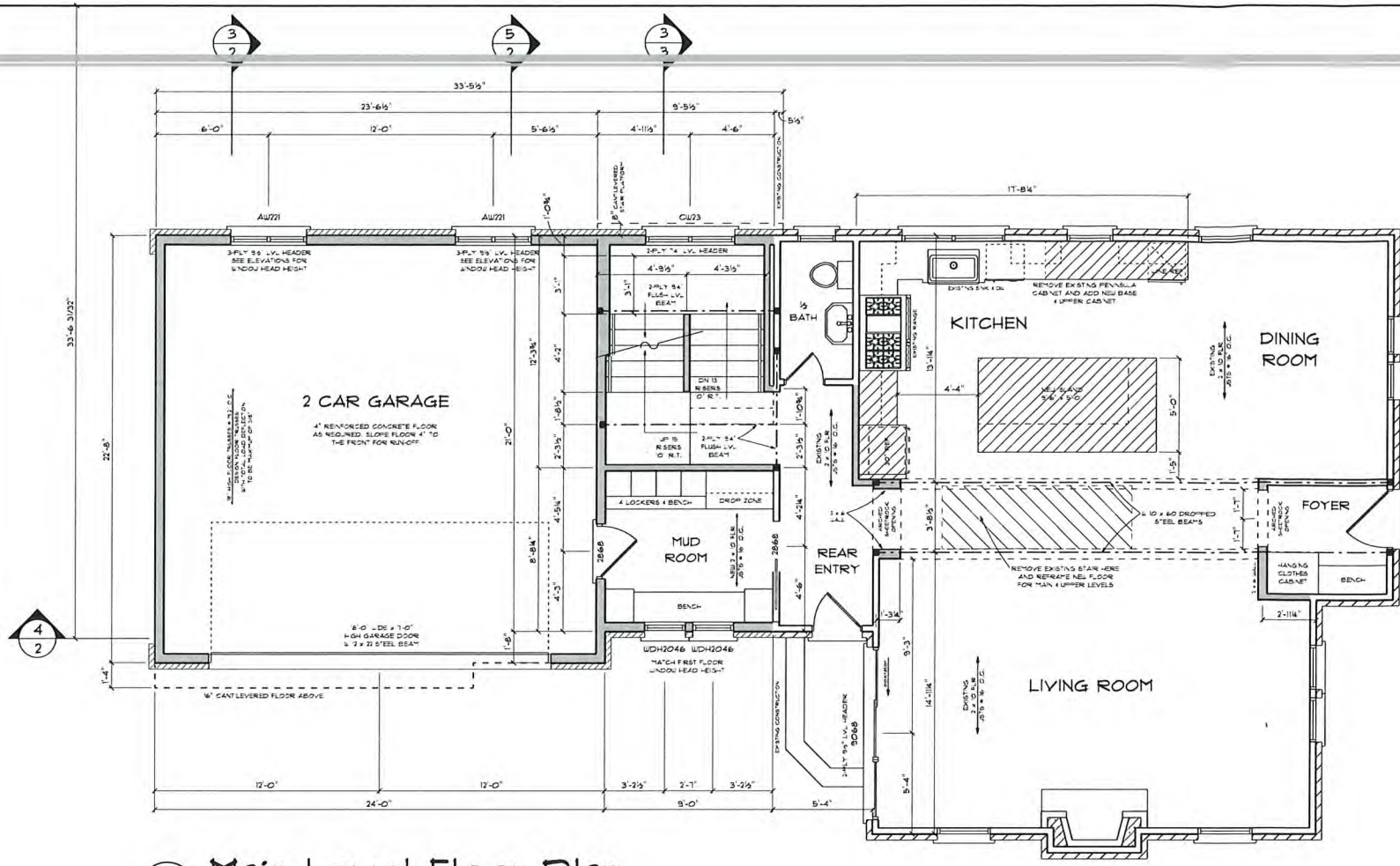


5 BUILDING CROSS SECTION  
 2 SCALE 1/4" = 1'-0"

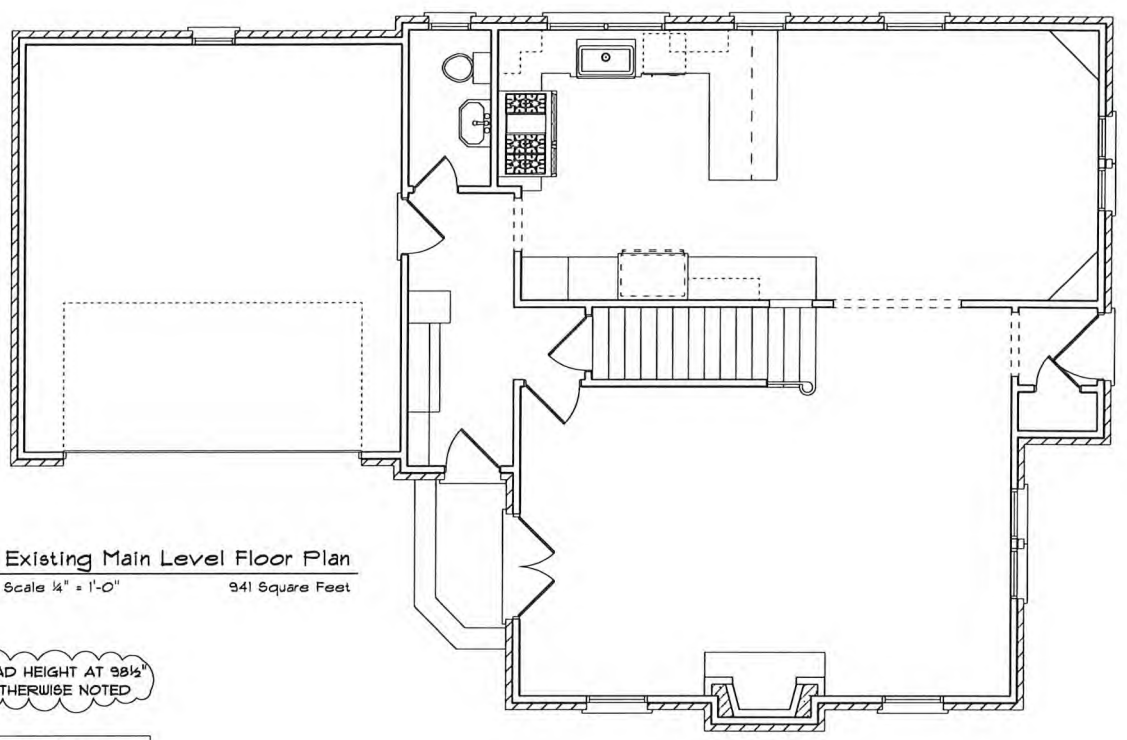
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 DEC 26 2019  
 CITY OF EDINA







1 Main Level Floor Plan  
3 Scale 1/4" = 1'-0" 1139 Square Feet

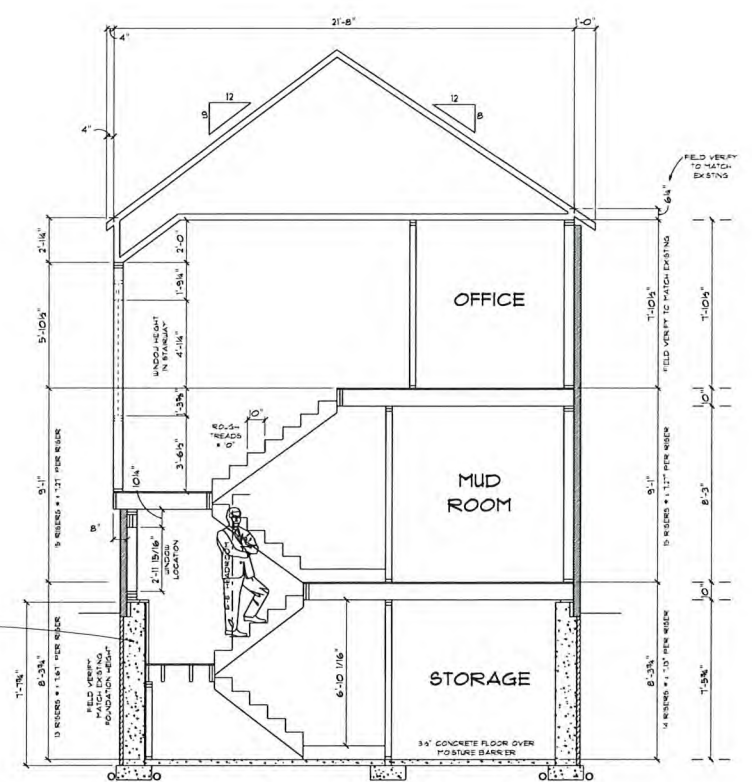


2 Existing Main Level Floor Plan  
3 Scale 1/4" = 1'-0" 941 Square Feet

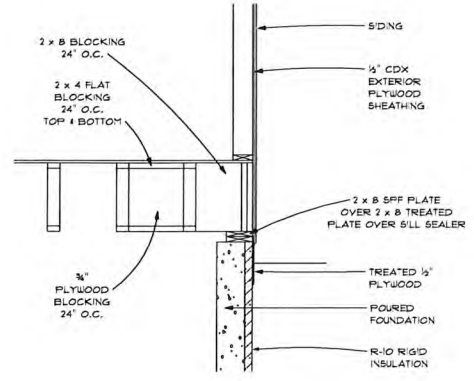
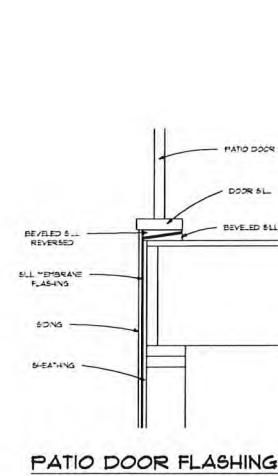
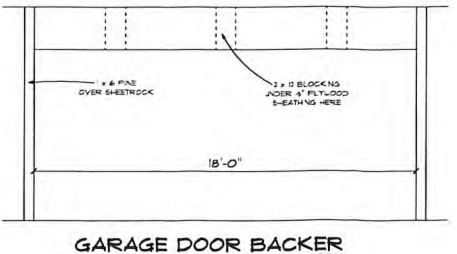
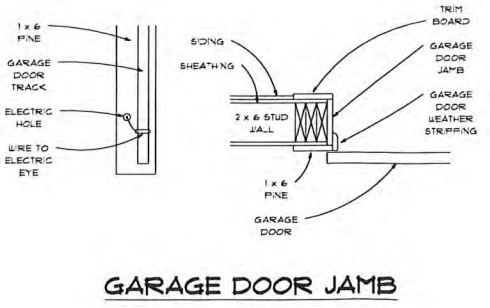
WINDOW HEAD HEIGHT AT 98 1/2" UNLESS OTHERWISE NOTED

DOOR SCHEDULE SYMBOL  
246B REPRESENTS A 2'-4" WIDE x 6'-8" HIGH DOOR

GENERAL NOTES  
- SUPPLIER TO VERIFY ALL L.V. BEAM SIZES  
- BRANCHES & VENTS & DOOR HEADERS TO BE  
- 2X10 MEMBERS & 4 BEAMS UNLESS OTHERWISE  
- NOTED. TRUSS SUPPLIER TO VERIFY ANY POINT  
- LOADS APPLIED TO OPENINGS & BEams  
- ACCORDING TO...  
- EXACT LOCATION OF ALL ORDERS & RELEASES  
- TO BE VERIFIED BY THE TRUSS SUPPLIER  
- ALL DIMENSIONS ARE FRAMES TO FINISH  
- NO. 5-BEATHING



3 BUILDING CROSS SECTION  
3 SCALE 1/4" = 1'-0"



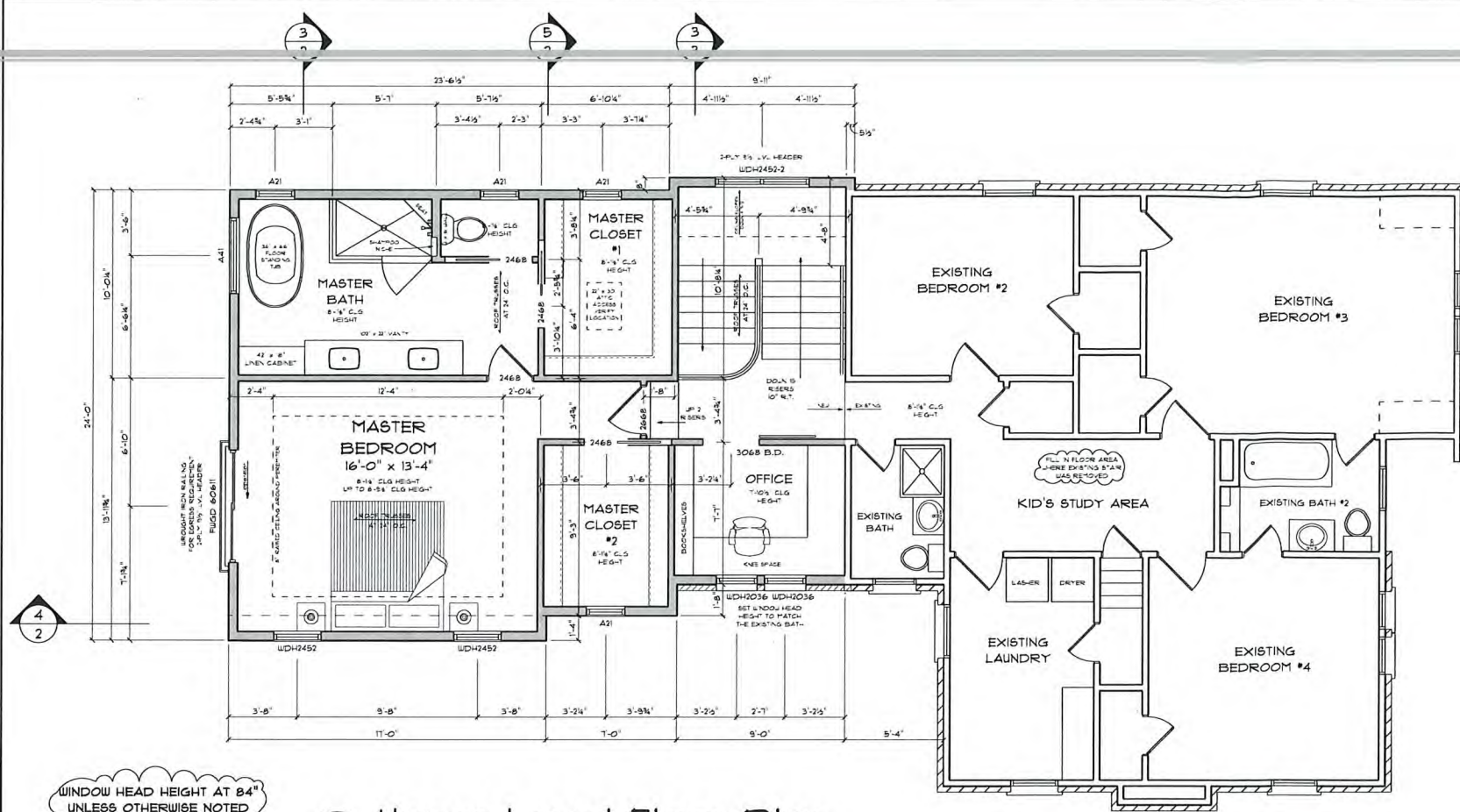
1/2" DIAMETER x 10" ANCHOR BOLT @ 4'-0" O.C.  
3 x 8 TREATED SILL PLATE w/ #4 SILL SEALER  
2" USE FORMED CONCRETE FOUNDATION ON ALL  
1/4" REINFORCING AS REQUIRED, 20" x 8" CONCRETE  
FOOTING WITH 2" #4 REBAR CONTINUOUS  
MATCHED DAYDRYING WITH #4 RIGID DRAINAGE  
BOARD NAILING TO TOP OF FOOTING  
DRAIN TIE NAIL 1" OUT TO SUMP  
# BRICK LEDGE

PLANNING DEPARTMENT

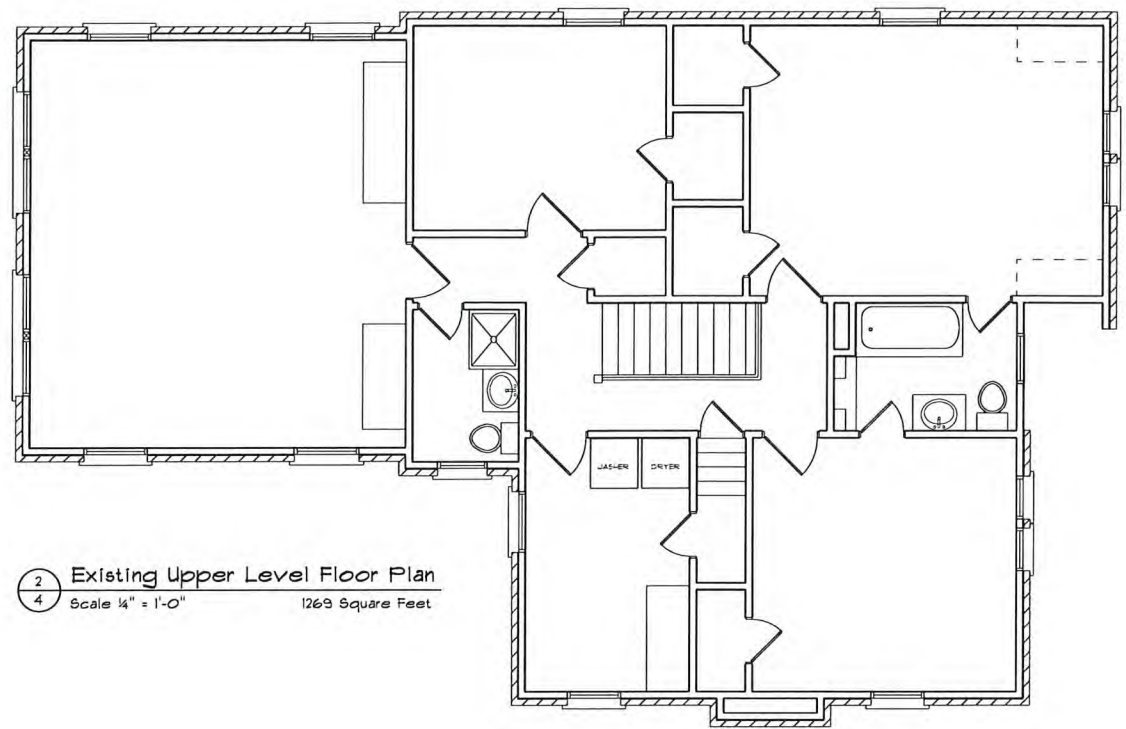
DEC 26 2019

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1 Upper Level Floor Plan  
 Scale 1/4" = 1'-0" 1671 Square Feet



2 Existing Upper Level Floor Plan  
 Scale 1/4" = 1'-0" 1269 Square Feet

WINDOW HEAD HEIGHT AT 84" UNLESS OTHERWISE NOTED

DOOR SCHEDULE SYMBOL  
 2468 REPRESENTS A 2'-4" WIDE x 6'-8" HIGH DOOR

**GENERAL NOTES**

- BATH & LAUNDRY ROOM: SOUND PROOF ALL WALLS WITH INSULATION TO FLEET EXPT.
- SUPPLY TO VERIFY ALL L.V. BEAP SIZE & STANDARDS & WINDOW HEADERS TO BE 2X10 HEADER OR BETTER UNLESS OTHERWISE NOTED. TRUSS SUPPLY TO VERIFY JAY ROOF LOADS APPLIED TO OPENINGS & SIZE L.V.S. ACCORDINGLY.
- EXACT LOCATION OF ALL SINKS & TUBS TO BE VERIFIED BY THE TRUSS SUPPLIER.
- GAS SERVICE TO BE LOCATED ON THE SIDE OF THE GARAGE.
- ALL OPENINGS ARE FRAME TO FRAME NOT S-EATHING.

**BATH NOTES**

- KEEP ALL PIPING TO BACK WALL OF VANITY FOR DRAIN STACK CLEARANCES.
- CERAMIC TILE BATH IN THE BATH AREA.
- CERAMIC TILE SHOWER & TUB WALLS TO "4" CEILING HEIGHT.
- SHOWER BENCH AS REQ'D. DUNROCK ALL WALLS AS REQ'D.

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EXCAVATION: Excavation, Silt Fence, Tree Removal, Fill Import/Export, Compaction, Rough Grading, Final Grading By Allowance. Allowance based on average costs for excavation of similar lots. Costs to correct unforeseen soil conditions responsibility of owner.

FOUNDATION TYPE:  Poured Contractor: \_\_\_\_\_

CONCRETE FLOORS:  Sealed Contractor: \_\_\_\_\_

WATERPROOFING:  Watch Dog Contractor: \_\_\_\_\_

EXTERIOR FOUNDATION INSULATION:  Per Plan Contractor: \_\_\_\_\_

GARAGE INTERIOR PERIMETER FOUNDATION INSULATION (HEATED GARAGE):  2" Foam Contractor: \_\_\_\_\_

DRIVEWAY TYPE:  Match Existing (Concrete)  
 GARAGE APRON TYPE:  Match Existing (Concrete)

EXTERIOR WALK, STOOP, PATIO: Front & Rear Stoops  Existing  
 Sidewalk to Driveway  By Owner  
 New Patio  By Owner

PAVERS, IF ANY:  By Owner  
 LUMBER SUPPLIER:  Scherer Contractor: \_\_\_\_\_  
 FRAMING:  Per Plan Contractor: \_\_\_\_\_  
 ROOF TRUSSES:  Per Plan Contractor: \_\_\_\_\_  
 FLOOR SUPPORT SYSTEM:  Per Plan Contractor: \_\_\_\_\_

WINDOWS:  Per Plan - Marvin Integrity OPTION: Andersen 400 Series Supplier: \_\_\_\_\_  
 Color of Exterior Cladding \_\_\_\_\_  
 Interior Window Frames  Pine  
 Extension Jambes  Pine  
 Window Grids  None  
 Screens  Standard  
 Screen Frames  Match Interior Trim to Extent Possible  
 Patio Door  Match Windows (Marvin Integrity)

EXTERIOR DOOR (HOUSE TO GARAGE):  2'-8" x 6'-8" Flush Steel Fire Rated Door

ROOF MATERIAL (ADDITION ONLY):  Fiberglass/Asphalt GAF Stain Guard Timberline High Definition Asphalt Color: Match Existing  
 Exposed Aluminum Colored to Complement Roof

SIDING (ADDITION):  Hardie Smooth Panel  Primed Color: \_\_\_\_\_  
 FASCIA/SOFFITS:  Hardie Board  Primed Color: \_\_\_\_\_  
 FRIEZE BOARDS & ACCENT TRIM:  Hardie Board  Primed Color: \_\_\_\_\_

GARAGE FINISH SCHEDULE:  
 INSULATION:  R-19 Insulated Walls with Fiberglass Insulation  
 R-38 Insulated Ceiling (Spray Foam & Fiberglass)  
 Overhead Gas Heater w/ Stat  
 HEATING:  Sheetrock Complete & Paint Ready  
 SHEETROCK:  Single Coat - Off White  
 GARAGE PAINTING:  4" Pine Hookstrip  
 GARAGE WINDOW TRIM:  6" Pine Hookstrip  
 GARAGE BASE BOARD:  6" Pine Hookstrip

OVERHEAD GARAGE DOOR TYPE & OPENERS:  Lecy Customized Steel Flush w/ Wood Trim Applied - Windows in Door Per Plan  Window w/ Grids  
 One 1/2 H.P. Openers w/2 Dual Controls & Digital Keypad Mounted on Garage Exterior Contractor: \_\_\_\_\_

HEATING/GAS PIPING: Contractor: \_\_\_\_\_  
 Gas Service:  Natural Meter to be installed on Garage side of home  
 Air Conditioning:  15.0 Seer (Standard)  16.0 Seer Two Stage  Max Seer  
 Furnace:  96% Furnace (Standard)  98% with Variable Speed Fan  
 Furnace Thermostat:  Honeywell Vision Pro 8000 Digital Set-Back w/ Red Link Qty: \_\_\_\_\_  
 Heating/AC (Main Lvl)  Separate Trunk Line for Forced Air A/C & Heat  Electronic Zoning for Forced Air A/C & Heat Location(s): \_\_\_\_\_  
 Heating Upper Level (Addition)  Separate Trunk Line for Forced Air A/C & Heat  Electronic Zoning for Upper Level  
 In-Floor Radiant Heat Location (If Any)  None  
 In-Floor Electric Heat (Master Bath) See Electrical Specification  
 Garage Heating Systems:  Off Complete w/ Gas Line  
 Humidifier(s)  April Aire / Bryant  
 Air Cleaner(s)  MERV 10-Filter  Honeywell Electronic  Bryant Perfect Aire Electronic  
 Air to Air Heat Exchanger ERV:  RenewAire Volume Ventilation w/ Limited Source Points  
 Dehumidifier:  None  
 Bath Fans:  Fan Only (Lo-Soone Sized Per Room) Qty: 2 Location: Master Bath  
 Vent Hood:  None  
 Sealing of Duct Work  Standard

PLUMBING: Contractor: \_\_\_\_\_  
 Water Distribution:  City Water  
 Interior Water Piping Material:  Pex w/copper shut-offs  
 Exterior Lawn Faucets: Two Standard  
 Hot Water Recirculating Line:  None  R/I  Pump w/Timer Location(s): \_\_\_\_\_  
 Special Anti-Sewage Backflow Protection Valve:  None  Complete (Per City Codes)  
 Mechanical Area Floor Drains: Discharge Water Lines surface run to floor drain  Standard  Other  
 Stainless Steel Sump Pump:  P/CC Pro Series Model PHCC-PS-C33 Combo Primary Electrical/Battery Backup  
 3" Radon Vent Pipe thru Roof:  Not Included  
 Other:  
 Gas Fireplace Line:  By HVAC Contractor  
 New Waterline to Ice Maker:  Complete  
 Remove & Reinstall:  Existing Kitchen Apron-Front Sink Faucet & Disposal  
 NOTE: EXISTING KITCHEN CABINETS & EXISTING KITCHEN APPLIANCES TO REMAIN IN PLACE, EXCEPT REFRIGERATOR TO BE RELOCATED PER PLAN.

PLUMBING SELECTIONS (AA): Supplier: FERGUSON	
<b>BATHROOMS</b>	
Water Closet	MASTERS BATHROOM
-Model	Kohler
-Color	K3979-0 / Trip Lever K11069-SN
-Supply Line	White
-Seat	Chrome
-Sink	B1600E3000
-Quantity	Kohler
-Model	Two
-Color	K2350-0
-Sink Faucet	White
-Model	Dela
-Color	D3551LFPN
-Supply Line	Brilliance Polished Nickel
-Shower	Chrome
-Shower Faucet	Full Ceramic to the ceiling
-Model / Valve	Dela
-Color	DT17251PN / DR1000JUNBX
-Tub	Brilliance Polished Nickel
-Model	MTI 60x36 Oval Soaker
-Color	MTIS75VHM/B644PN
-Tub Faucet	White
-Valve	SHPTFS2000GN h5hwr: N291/15 vacuum breaker
-Color	Polished Nickel

ELECTRICAL: Contractor: \_\_\_\_\_  
 Service: Based on the Plan, the electrician, must determine the required service and bid accordingly. Service Panel is located in the Garage with: Contractor to Bid Service Panel as Needed.  
 Contract will Bid Either 1) 200 AMP 2) 200 AMP + 100 AMP Subpanel 3) 400 AMP 4) Other

Standard Electrical Features: Fans installed per plan (B) Outlets installed per code - all other outlets noted on plan (C) Outlets in unfinished areas are per plan only (D) Four outlets in garage  
 Exterior Outlets:  Complete Quantity: 2  
 Interior Switches:  Toggle  
 Interior Outlets:  Standard Duplex  
 Dimmers:  Quantity: 6  
 Switched Display Outlets:  Complete Location: Living Room  
 Switched Under Cabinet Lights:  LED Lighting  
 Stair Lights:  LED Lighting Qty: \_\_\_\_\_  
 Ceiling Fans:  Complete Fan Only Qty: 1  
 Garage Electric:  Standard Outlets  
 Electric to Gas Garage Heater:  Hook-Up Complete  
 Wine Chiller:  None  Complete Location: \_\_\_\_\_  
 Electric In-Floor Radiant:  Complete Location: Master Bathroom  
 Type of Recessed Lighting:  LED Disc Lights

APPLIANCES: EXISTING KITCHEN APPLIANCES REMAIN IN PLACE EXCEPT REFRIGERATOR—RELOCATE PER PLAN.  
 EXTERIOR BRICK: Contractor: TIMBERCREEK - CHRIS  
 Location: Exterior New Addition - Match Existing as Close as Possible Using Locally Sourced Brick  
 Cap:  Lecy Standard Limestone  
 Special Instructions: \_\_\_\_\_

INTERIOR (FIREPLACE FACES): Contractor: \_\_\_\_\_  
 Master Bedroom (Optional): See-Thru to Master Bath  
 Face Material: TILE  
 Hearth:  None  
 Mantle:  Custom Wood

OPTIONAL FIREPLACE UNIT: Supplier: \_\_\_\_\_  
 LOCATION: Master Bedroom TYPE:  Gas MODEL: ST-550TM See-Thru

LOW VOLTAGE Contractor: ADMIT ONE  
 Freestanding Components Must be installed after Closing Special Instructions: \_\_\_\_\_

INSULATION LABOR & MATERIAL: Supplier: GREENSTAR  
 Material:  Fiberglass  
 Ceiling - Blown Fiberglass  R-50  
 Wall Fiberglass - Batts  R-20  
 Special Sound Insulation:  R-19  Ceiling Below Master Bedroom & Master Bath

SHEETROCK Contractor: \_\_\_\_\_  
 Ceiling Finish (Main & Upper):  Smooth  
 Corner Bead:  Standard Square Bead in Entire Home

CERAMIC TILE: Installer: \_\_\_\_\_ Selection Made at: \_\_\_\_\_  
 Shower Walls:  Run to Ceiling or Soffits Shower Ceiling:  Sheetrock  
 In-Wall Shampoo Shelves (Master Bathroom):  Qty: 2  
 Shower Benches - Framed Seats (Not Open Under Seat) in Master Bathroom:  Install  
 Other Instructions: Tiled Fireplace Face in Master Bedroom  
 Extend Existing Kitchen Backsplash (Match Existing Tile)

MASTER CABINET SCHEDULE: Contractor: \_\_\_\_\_  
 GENERAL SPECIFICATION FOR ALL CABINETS:  
 1) Cabinet Doors Flat Panel per Specs 2) Cabinet Drawer Fronts Combination of Flush/Paneled 3) Cabinet Exteriors are Solid Wood & Veneered Materials 4) White Melamine Cabinet Interiors, Shelves and Drawer Interiors .

KITCHEN FEATURES:  
 Cabinet Door Type:  Other Match Existing Flat Panel Inset Cabinet Material: See Cabinet Schedule  
 Door Construction:  Other Inset  
 Cabinet Heights:  Match Existing Height Cabinet Backs:  Full Backs  
 Cabinet Drawer Guides:  Soft Close Guides & Hinges  
 Cabinet End Panels:  Panels to Match Cabinet Doors Center Island End Panels:  Paneled Sides & Back Panel  
 Vent Hood:  Existing (No Work)

NOTE - New kitchen cabinets to include:  
 All New Island  
 New Cabinets to Left of Range Hood  
 All New Upper & Base Cabinets Beginning at Location of Former Lazy-Susan, where Peninsula is Removed

MASTER VANITY & LOW LINEN:  
 Cabinet Door Type:  Flat Panel Cabinet Material: See Cabinet Schedule  
 Door Construction:  Standard Overlay Doors Cabinet Backs:  Full Backs  
 Cabinet Drawer Guides:  Soft Close Guides & Hinges Cabinet End Panels:  Panels to Match Cabinet Doors

CABINET HARDWARE ALLOWANCE:  \$10 Supplier: \_\_\_\_\_  
 CABINET FINISH SCHEDULE:

LOCATION	DOOR STYLE	MATERIAL	FINISH	SPECIAL FEATURES
Foyer	Flat Panel	Paint Grade	Enamel	Bench & Coat Closet Cabinet
Kitchen Perimeter	Flat Panel (Match Existing)	Paint Grade	Enamel	
Kitchen Island	Flat Panel	Paint Grade	Enamel	
Mudroom	Flat Panel	Paint Grade	Enamel	4-16" Lockers, Drop zone & Bench
Upper Level Office	Flat Panel	Paint Grade	Enamel	30" Desk w/ Stained Wood Top; Built-In Bookcases w/ Full Backs
Upper Level Master Bath	Flat Panel	Paint Grade	Enamel	Vanities & Low Linen

STAIRWAY SYSTEM: Supplier: \_\_\_\_\_  
 Stair Posts:  Standard 4 1/2 x 4 1/2 w/ Top Cap & Wrapped Base Finish: Enamel - Paint Grade Supplier: \_\_\_\_\_  
 Stair Spindles:  Powder Coated Aluminum/Steel Finish: \_\_\_\_\_ Supplier: \_\_\_\_\_  
 Stair Railing: Type: 6010 Colonial Material: Clear Alder Finish:  Stained

Treads & Risers: \_\_\_\_\_  
 Stair to Upper Level:  Exposed Treads & Risers  
 Treads & Landing: Material: Red Oak w/ Carpet Runner  Stained  
 Risers: Material: Paint Grade  Enameled  
 Stair to Lower Level:  Full Width Carpet

WOOD FLOORS: Contractor: INNOVATIVE - PERRY  
 Wood Type/Material - Main Level of Wood Floors:  Red Oak (Match Existing)  
 Board Size - All Floor Laid Random Lengths:  1 1/2"  
 Wood Stain Color: Custom Color to Match Existing  
 Wood Finish:  Standard Smooth Sanded Floor  
 Stair Tread Material to Match Wood Floor:  Yes  
 Wood Floor Registers to Match Flooring:  Flush  
 Special Wood Flooring Features: \_\_\_\_\_

PAINTING & STAINING FINISH SPECS: Contractor: VERIFY  
 Normally all windows are prefinished metal or vinyl clad except the front entry system, the garage door casing, service door casing. Homes that use a dark colored exterior paint/stain may require repainting/staining more often.  
 Siding Color:  Two Coat Process Color: \_\_\_\_\_  
 Fascia Color:  Two Coat Process Color: \_\_\_\_\_  
 Soffit Color:  Match Body Color  
 Frieze Board/Window Banding/Trim:  Match House Color  
 Garage Overhead Door(s)  Lecy Standard  
 Window Grids (Interior):  Match Trim  Pre-Finished  
 Interior Garage/House Door:  Manufacturer's "Off White"  
 Garage Finish - Walls & Ceiling:  Complete - See Garage Specifications  
 Interior Walls, Ceilings, Trim, Etc:  See Room Finish Schedule  
 Cold Air Return Registers in Public Areas to be Painted Same as Wall Color  
 Specialty Painting Notes: \_\_\_\_\_

MAIN LEVEL ROOM FINISH INFORMATION: DOOR THICKNESS:  1 3/8"

ROOM	FLOOR	BASE SIZE/MATL	CASING SIZE/MATL	DOOR TYPE DOOR MATL	DOOR FINISH	DOOR HGT	SPECIAL TRIM	TRIM FINISH	WALL(S) TYPE/FINISH	CEILING FINISH
Stairs (Up)	Wood w/ Carpet runner	Match Existing 4" Birch	N/A	N/A	N/A	N/A	None	Stain	S.R. Std Paint	Smooth
Entry Hall	Patch/Refinish Wood Floor	Match Existing 4" Birch	Match Existing 2 1/2" Birch	N/A	N/A	N/A	None	Stain	S.R. Std Paint	Smooth
Mudroom	Wood	Match Existing 4" Birch	Match Existing 2 1/2" Birch	Pocket Door 8-Panel Birch	Stain	6'-8"	None	Stain	S.R. Std Paint	Smooth
Powder Bath	No Work	No Work	No Work	No Work	No Work	No Work	None	No Work	No Work	No Work
Kitchen	Patch/Refinish Wood Floor	Match Existing 4" Birch	Match Existing 2 1/2" Birch	N/A	N/A	N/A	Plaster Cove Molding on Cabinets	Stain	Patch S.R. Repair	Patch S.R. Plaster Cove* Repair
Dining Area	Patch/Refinish Wood Floor	Match Existing 4" Birch	Match Existing 2 1/2" Birch	N/A	N/A	N/A	None	Stain	Repair	Patch S.R. Plaster Cove* Repair
Living Room	Patch/Refinish Wood Floor	Match Existing 4" Birch	Match Existing 2 1/2" Birch	N/A	N/A	N/A	None	Stain	Patch S.R. Repair	Patch S.R. Plaster Cove* Repair
Foyer	Patch/Refinish Wood Floor	Match Existing 4" Birch	Match Existing 2 1/2" Birch	Arched Opening	N/A	N/A	None	Stain	S.R. Std Paint	Smooth

\* NOTE: New Plaster Cove to Match Existing Where Walls are Removed

INTERIOR TRIM STAIN COLOR: \_\_\_\_\_ STD INTERIOR WALL COLOR: \_\_\_\_\_  
 SPECIAL PAINT COLOR: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 SPECIAL CEILING PAINT COLOR: \_\_\_\_\_ LOCATION: \_\_\_\_\_

UPPER LEVEL ROOM FINISH INFORMATION: DOOR THICKNESS:  1 3/8"

ROOM	FLOOR	BASE SIZE/MATL	CASING SIZE/MATL	DOOR TYPE DOOR MATL	DOOR FINISH	DOOR HGT	SPECIAL TRIM	TRIM FINISH	WALL(S) TYPE/FINISH	CEILING FINISH
Stairs (Up)	Wood w/ Runner	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Enamel	Smooth
Office	Carpet	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	38" Barn Door by Floor Co	Enamel	N/A	None	Enamel	S.R. Std Paint	Smooth
Office Hallway	Wood	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	N/A	N/A	N/A	None	Enamel	S.R. Std Paint	Smooth
Kid's Study Hallway	Patch Wood Floor & where Stairs Removed, Refinish	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	N/A	N/A	N/A	None	Enamel	S.R. Std Paint	Smooth
Master Bedroom	Carpet	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	8-Panel Flat Paint Grade	Enamel	6'-8"	None	Enamel	S.R. Std Paint	Smooth
Master Bathroom	Ceramic	Ceramic	2 1/2" Paint Grade Match Existing	8-Panel Flat Paint Grade	Enamel	6'-8"	None	Enamel	S.R. Std Paint	Smooth
Master Bath Commode Rm	Ceramic	Ceramic	2 1/2" Paint Grade Match Existing	8-Panel Flat Pocket Paint Grade	Enamel	6'-8"	None	Enamel	S.R. Std Paint	Smooth
Master W.I. Closet A	Carpet	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	8-Panel Flat Pocket Paint Grade	Stain	6'-8"	None	Enamel	S.R. Std Paint	Smooth
Master W.I. Closet B	Carpet	4" Paint Grade Match Existing	2 1/2" Paint Grade Match Existing	8-Panel Flat Pocket Paint Grade	Stain	6'-8"	None	Enamel	S.R. Std Paint	Smooth

INTERIOR TRIM STAIN COLOR: \_\_\_\_\_ STD INTERIOR WALL COLOR: \_\_\_\_\_  
 SPECIAL PAINT COLOR: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 SPECIAL CEILING PAINT COLOR: \_\_\_\_\_ LOCATION: \_\_\_\_\_

LOWER LEVEL ROOM FINISH INFORMATION: DOOR THICKNESS:  1 3/8"

ROOM	FLOOR	BASE SIZE/MATL	CASING SIZE/MATL	DOOR TYPE DOOR MATL	DOOR FINISH	DOOR HGT	SPECIAL TRIM	TRIM FINISH	WALL(S) TYPE/FINISH	CEILING FINISH
Stairs (Down)	Full-Width Carpet	None	N/A	N/A	N/A	N/A	N/A	Enamel	S.R. Std Paint	Smooth
Family Room	New Carpet	None	Existing	N/A	N/A	N/A	None	Existing	Patch Wall Paneling & Sheetrock where Stairs Removed, Repaint One Wall	No Work
Storage Under Stairs	Concrete	4" Paint Grade	2 1/2" Paint Grade	8-Panel Flat Paint Grade	Enamel	6'-8"	None	Enamel	S.R. Std Paint	Smooth
Possible Mechanical Room/Storage	Concrete	None	None	8-Panel Flat Paint Grade	Enamel	6'-8"	None	None	Unfinished	Unfinished

INTERIOR DOOR HARDWARE:  By Allowance Supplier: \_\_\_\_\_  
 COUNTERTOP SPECIFICATION: Supplier: \_\_\_\_\_

KITCHEN PERIMETER: MATERIAL: \_\_\_\_\_ COLOR: \_\_\_\_\_ EDGE: \_\_\_\_\_ SPLASH: \_\_\_\_\_  
 KITCHEN ISLAND: GRANITE  
 MUDROOM DROP ZONE: GRANITE  
 MASTER BATH: GRANITE

LIGHT FIXTURES:  By Owner TOWEL BARS, TOILET PAPER HOLDERS, ETC:  By Owner  
 CARPET: Supplier: \_\_\_\_\_ Installer: MARK EDLUND - MKE TBD - \$35/sqft Carpet \$3 Pad Allowance

MIRRORS/SHOWER DOORS - BY ALLOWANCE: Supplier: MINNEAPOLIS GLASS  
 Mirrors Shower Doors  
 Master Bath  Wood Frame  Door Type & Selection Heavy Frameless w/ Shower Guard

CLOSET SHELVING - BY ALLOWANCE: Supplier: HOME OPTIONS  
 GUTTERS & DOWNSPOUTS - BY ALLOWANCE:  As Required Contractor: TBD  
 Material:  Aluminum  Other \_\_\_\_\_  
 Color of Gutters:  Match Fascia  Other \_\_\_\_\_  
 Color of Downspouts:  Match Body of Home  Other \_\_\_\_\_  
 Special Gutter Requirements:  None  Screens  Other: \_\_\_\_\_

JOB SUPERVISOR:  
 NAME  
 PHONE  
 EMAIL

# SCHIENA, MELISSA & MICHAEL

## 4508 BRUCE AVENUE

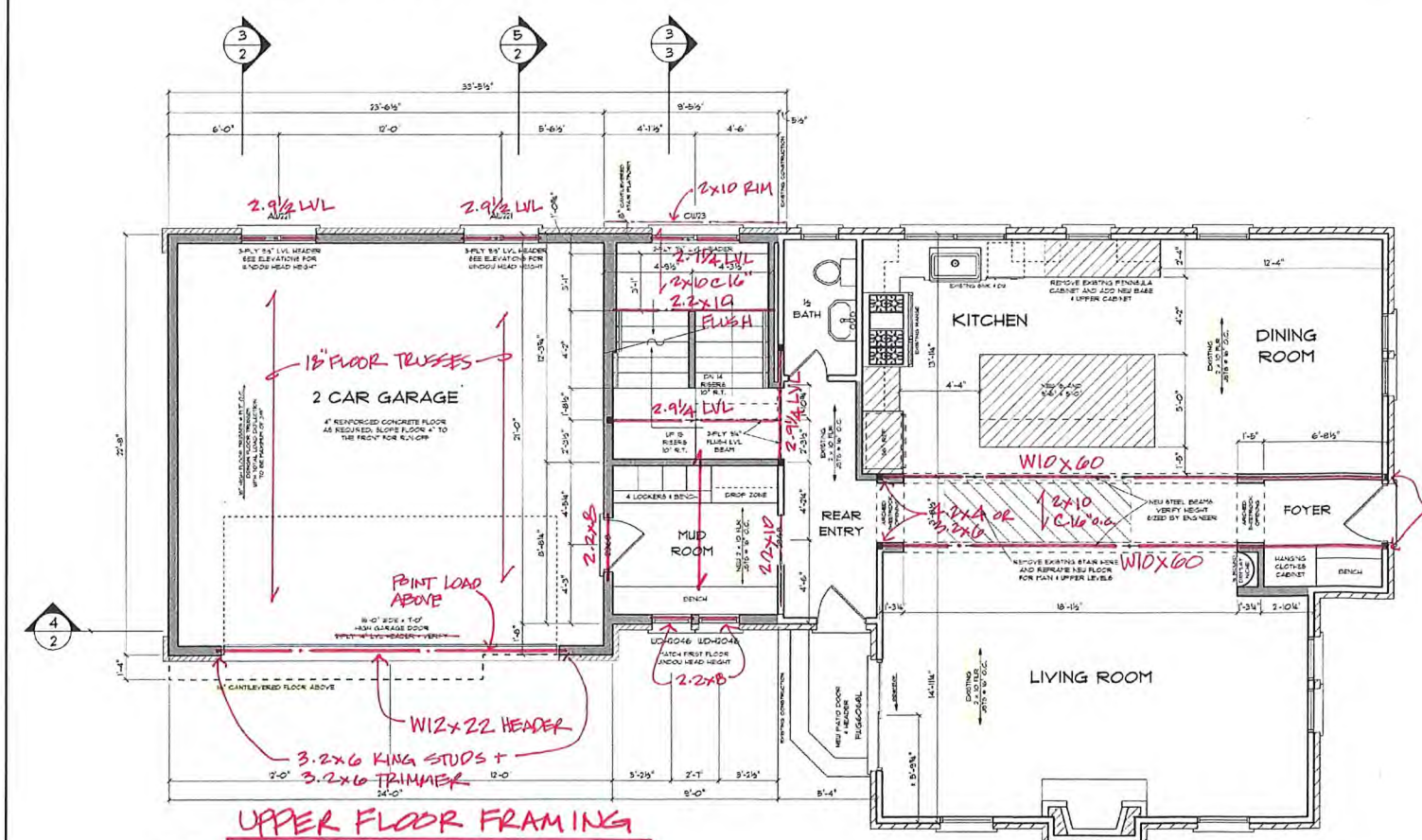
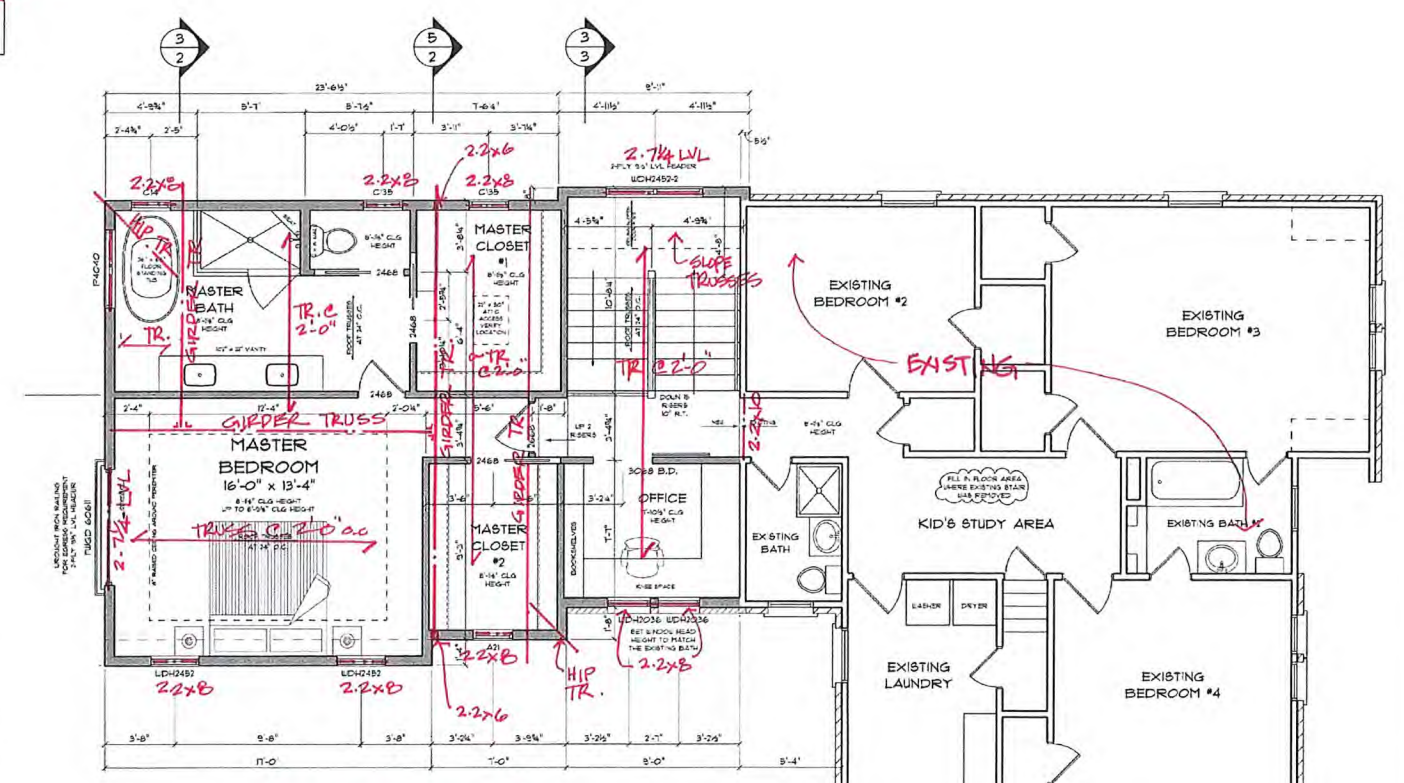
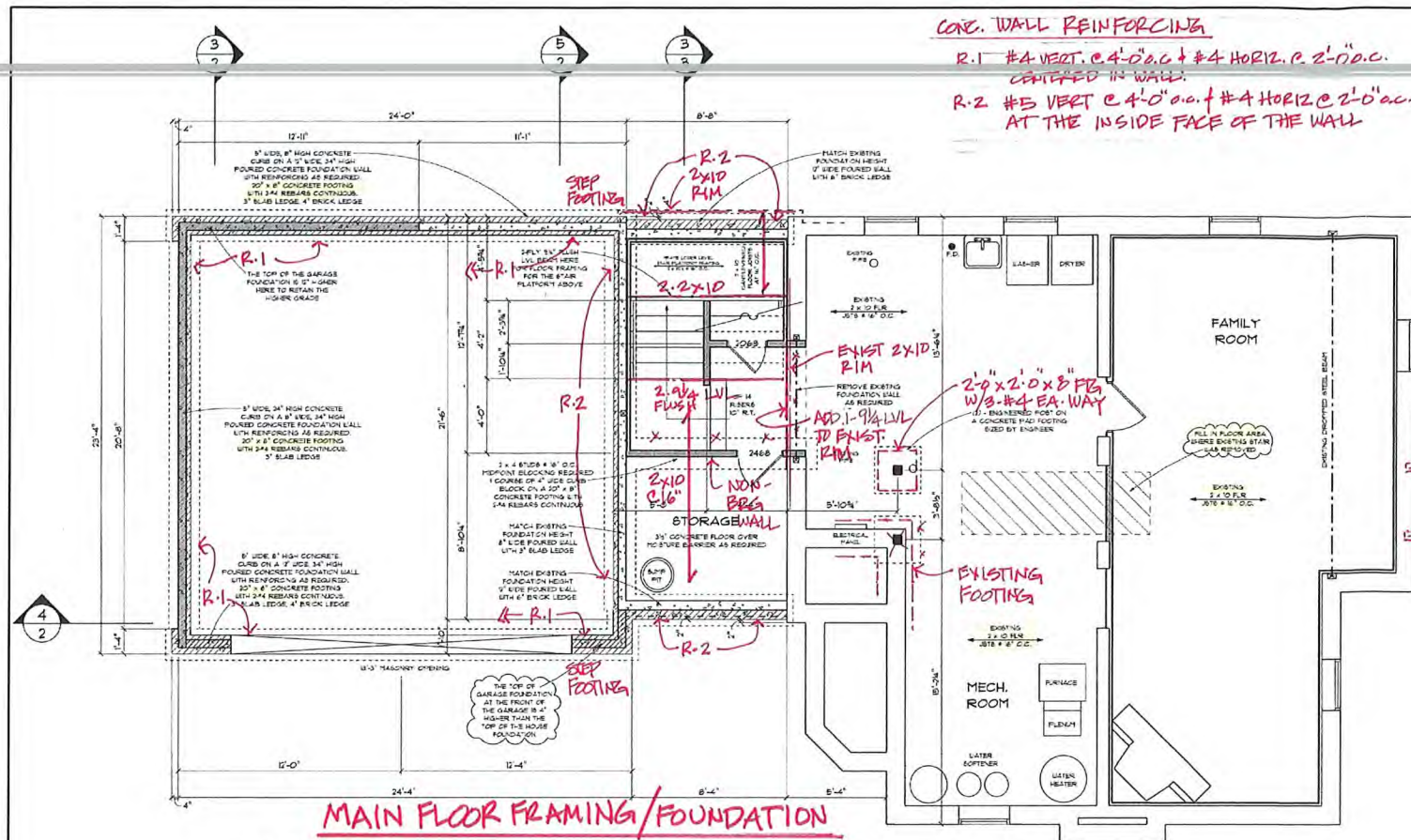
### EDINA, MN 55424



REVISIONS:  
 9.19.19

PLANNING DEPARTMENT  
 DEC 26 2019  
 CITY OF EDINA





PLANNING DEPARTMENT

DEC 26 2019

CITY OF EDINA



Schlena Remodel Plan / Sheet #5



DEC 26 2019

CITY OF EDINA







PLANNING DEPARTMENT

DEC 26 2019

CITY OF EDINA





PLANNING DEPARTMENT

DEC 26 2019

CITY OF EDINA



PLANNING DEPARTMENT

DEC 26 2019

CITY OF EDINA





# 4508 Bruce Avenue



1 in = 40 ft



The CITY of  
**EDINA**



January 7, 2020  
Map Powered by DataLink  
from WSB & Associates



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VI.B.

**To:** Heritage Preservation Commission

**Item Type:**

Other

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** Sketch Plan-4600 Browndale Ave

Discussion

---

### **ACTION REQUESTED:**

None.

### **INTRODUCTION:**

Sketch Plan Review: The purpose of this review is to provide assistance in resolving problems or meeting requirements if the potential applicant decides to proceed with the COA process. In this manner, the HPC may provide preliminary, non-binding guidance on the suitability of the project with a minimum burden of expense on a property owner. Such consultation shall bind neither the property owner nor the HPC, and statements made by HPC members shall not form a basis for invalidating any subsequent action taken.. Sketch Plan Review does not require formal notice to neighboring properties.

### **ATTACHMENTS:**

4600 Browndale Ave





**SHEET INDEX**

- A0.1 COVER SHEET
- A0.2.1 PROPERTY SURVEY
- A0.2.2 PROPERTY SURVEY, SUPPLEMENTAL
- A0.2.3 FRONT SETBACK STUDY
- A0.3 LOT COVERAGE CALCULATIONS
- A0.4.1 WALL AREA CALCULATIONS
- A0.5 BASEMENT STORY STUDY
- A1.0 SITE PLAN
- A1.1 CURB CUT DRAWING (CIVIL)
- A2.0 BASEMENT FLOOR PLAN
- A3.0 1ST FLOOR PLAN
- A4.0 2ND FLOOR PLAN
- A5.0 3RD FLOOR PLAN (ATTIC)
- A6.0 CROSS SECTIONS
- A7.0 STREET ELEVATION
- A7.1 PHOTOS
- A8.1 EAST ELEVATION (PARALLEL TO GABLE)
- A8.2 EAST ELEVATION (PARALLEL TO PORCH)
- A8.3 NORTH ELEVATION
- A8.4 WEST ELEVATION
- A8.5 SOUTH ELEVATION
- A8.6 BIRD'S EYE FROM EAST
- A8.7 BIRD'S EYE FROM WEST
- A8.8 CURB CUT AND PROPERTY LINE TREATMENT



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E: chuck@clevin.com**

ARCHITECT'S PROJECT #1581

**WYROBEK  
FAMILY  
RESIDENCE**

DESIGN STUDY FOR  
4600 BROWDALE  
EDINA, MN

SUBMITTAL FOR  
SKETCH REVIEW 1/8/20

10:31 AM Thu, Jan 9, 2020

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and I am a duly licensed architect under the laws of the State of Minnesota.

**DESIGN STUDY  
NOT FOR  
CONSTRUCTION**

Charles Levin  
License No. 14672  
Date: xx/xx/xxxx

**COVER  
SHEET**

**A0.1**





**Charles Levin Architects**

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Minneapolis Minnesota 55404-3150

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E: chuck@clevin.com

ARCHITECT'S PROJECT #1581

**WYROBEK FAMILY RESIDENCE**

DESIGN STUDY FOR 4600 BROWDALE EDINA, MN

SUBMITTAL FOR SKETCH REVIEW 1/8/20

10:32 AM Thu, Jan 9, 2020

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

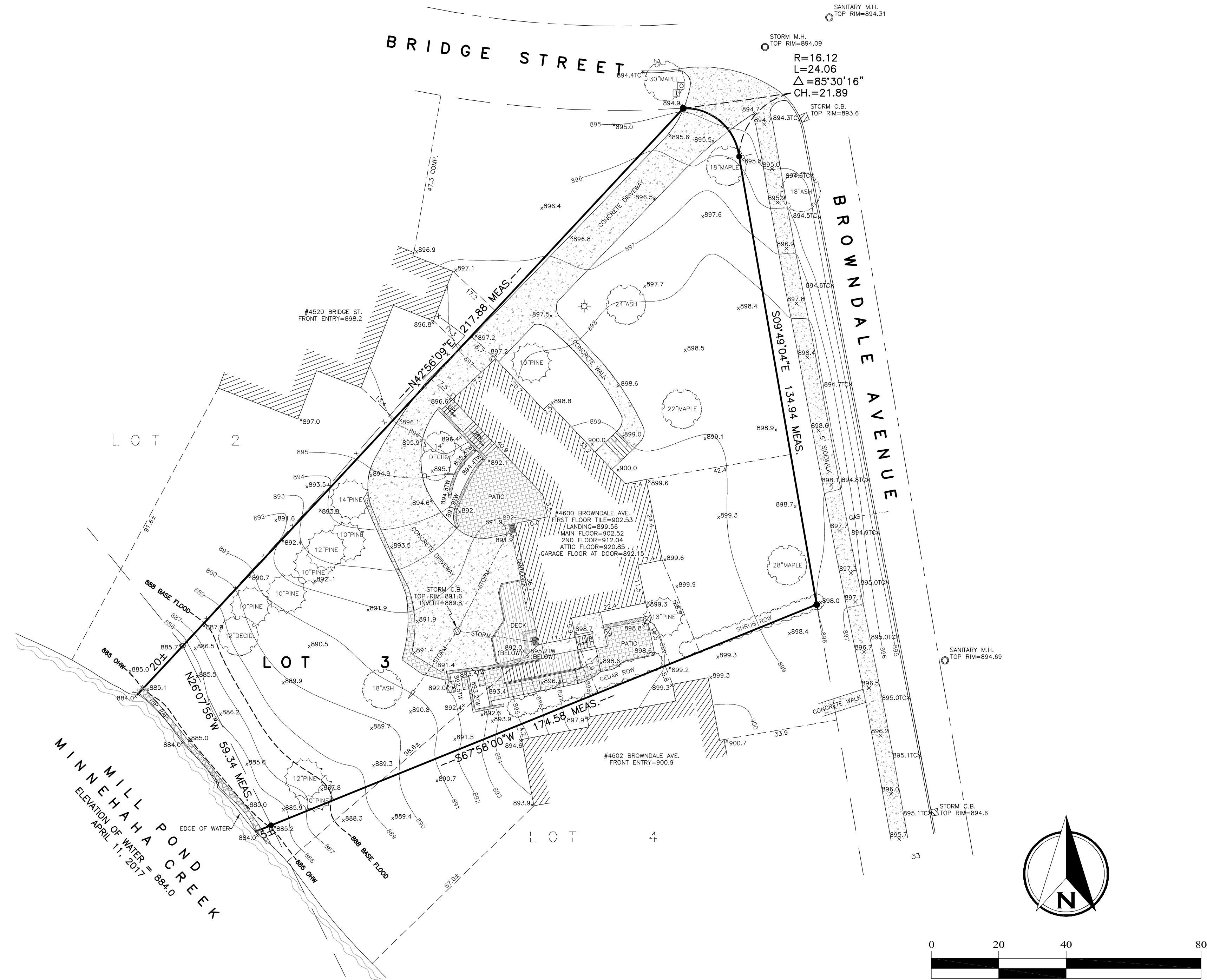
**DESIGN STUDY NOT FOR CONSTRUCTION**

Charles Levin  
Professional Engineer License No. 14672  
Date: xx/xx/xxxx

**EXISTING CONDITION SURVEY FOR: KUHLE DESIGN + BUILD**

**LEGEND**

- x — x — Fence
- Telephone Pedestal
- Cable Box
- Catch Basin
- Catch Basin
- Manhole
- Light Pole
- ▬ Retaining Wall
- x900.0 Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- 900- Existing Contour
- Found Iron Monument
- Set Iron Monument
- Inscribed R.L.S. 15230



**LOT COVERAGE CALCULATION:**

Lot Area to OHW = 20,750 SF

**COVERAGE:**

House w/ Cantilever = 2,320 SF  
Deck = 373 SF  
Patios = 674 SF

**ALLOWANCES:**

Patio/Deck = -150 SF

Total = 3,367 SF

= 16.2%

25% Maximum Allowable Lot Coverage

**NOTES:**

- All existing building dimensions are measured to the finished siding and not the building foundation.

- No search was made for any easements.

- The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

<b>JOB NO.</b> 55-17	<b>SCALE</b> 1" = 20'	<b>DATE</b> 12-18-2019	<b>REVISIONS</b> REMARKS
<b>BOOK/PAGE</b> 143/65	<b>DRAWN</b> CME		Update previous survey dated 04-17-2019.
<b>SHEET</b> 1 of 1	<b>REFERENCE</b> 55-17 143/65		

<b>SITE ADDRESS</b> 4600 Browdale Ave. Edina, MN 55424
<b>PROPERTY DESCRIPTION</b> Lot 3, Block 14, COUNTRY CLUB DISTRICT BROWN SECTION, Hennepin County, Minnesota.
<b>BENCHMARK</b> T.N.H. at the Northwest Corner of Browdale Ave. and Bridge St. Elevation = 897.38.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

**W. BROWN LAND SURVEYING, INC.**

*Woodrow A. Brown* DATED: 12-18-2019  
WOODROW A. BROWN, R.L.S. MN REG 15230

**W. BROWN LAND SURVEYING, INC.**  
8030 CEDAR AVENUE SO., SUITE 228.  
BLOOMINGTON, MN 55425  
Bus: (952) 854-4055  
FAX: (952) 854-4268  
EMAIL: WBLANDSURVEY@AOL.COM

**PROPERTY SURVEY**

**A0.2.1**





**Charles Levin Architects**

**2300 Milwaukee Avenue**

**Minneapolis Minnesota 55404-3150**

**P: 612.729.5333  
F: 612.729.8351  
E: chuck@clevin.com**

ARCHITECT'S PROJECT #1581

**WYROBEK FAMILY RESIDENCE**

**DESIGN STUDY FOR 4600 BROWDALE EDINA, MN**

SUBMITTAL FOR SKETCH REVIEW 1/8/20

10:33 AM Thu, Jan 9, 2020

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

Charles Levin  
Professional Engineer No. 14672  
Date: xx/xx/xxxx

**PROPERTY SURVEY - SUPPLEMENTAL**

**A0.2.2**

© 2020 Charles Levin Architects

**PROPOSED ADDITIONS FOR: KRIS & NICO WYROBEK**

**LEGEND**

— x — x —	Fence
⊠	Telephone Pedestal
⊞	Cable Box
⊞	Catch Basin
⊞	Catch Basin
⊞	Manhole
⊞	Light Pole
⊞	Retaining Wall
x900.0	Existing Elevation
x900.0TC	Top of Curb Elevation
x900.0TW	Top of Wall Elevation
— 900 —	Existing Contour
●	Found Iron Monument
○	Set Iron Monument
	Inscribed R.L.S 15230

**PROPOSED LOT COVERAGE CALCULATION:**

Lot Area to OHW = 20,750 SF

**COVERAGE:**

House with Additions = 3,490 SF  
Deck = 405 SF  
Porch = 273 SF (2 SF in Setback)

**ALLOWANCES:**

Patio/Deck = -150 SF  
Total = 4,018 SF  
= 19.4%  
25% Maximum Allowable Lot Coverage

**EXISTING LOT COVERAGE CALCULATION:**

Lot Area to OHW = 20,750 SF

**COVERAGE:**

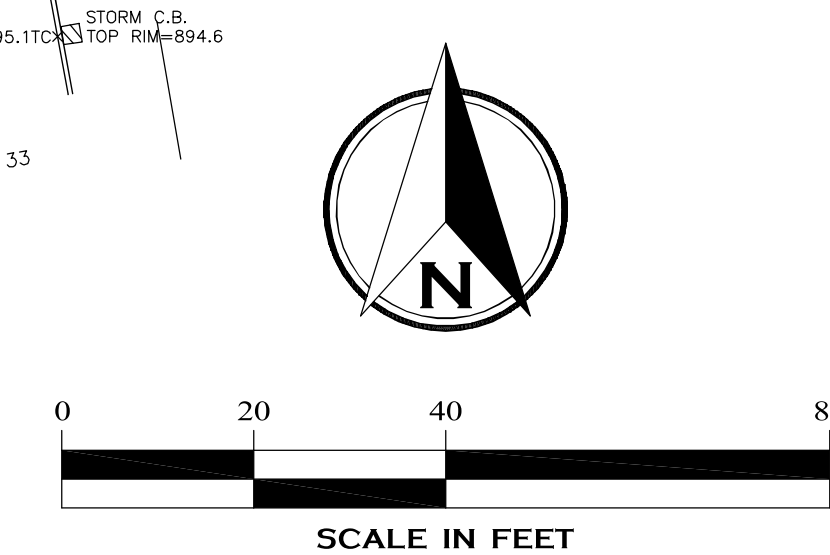
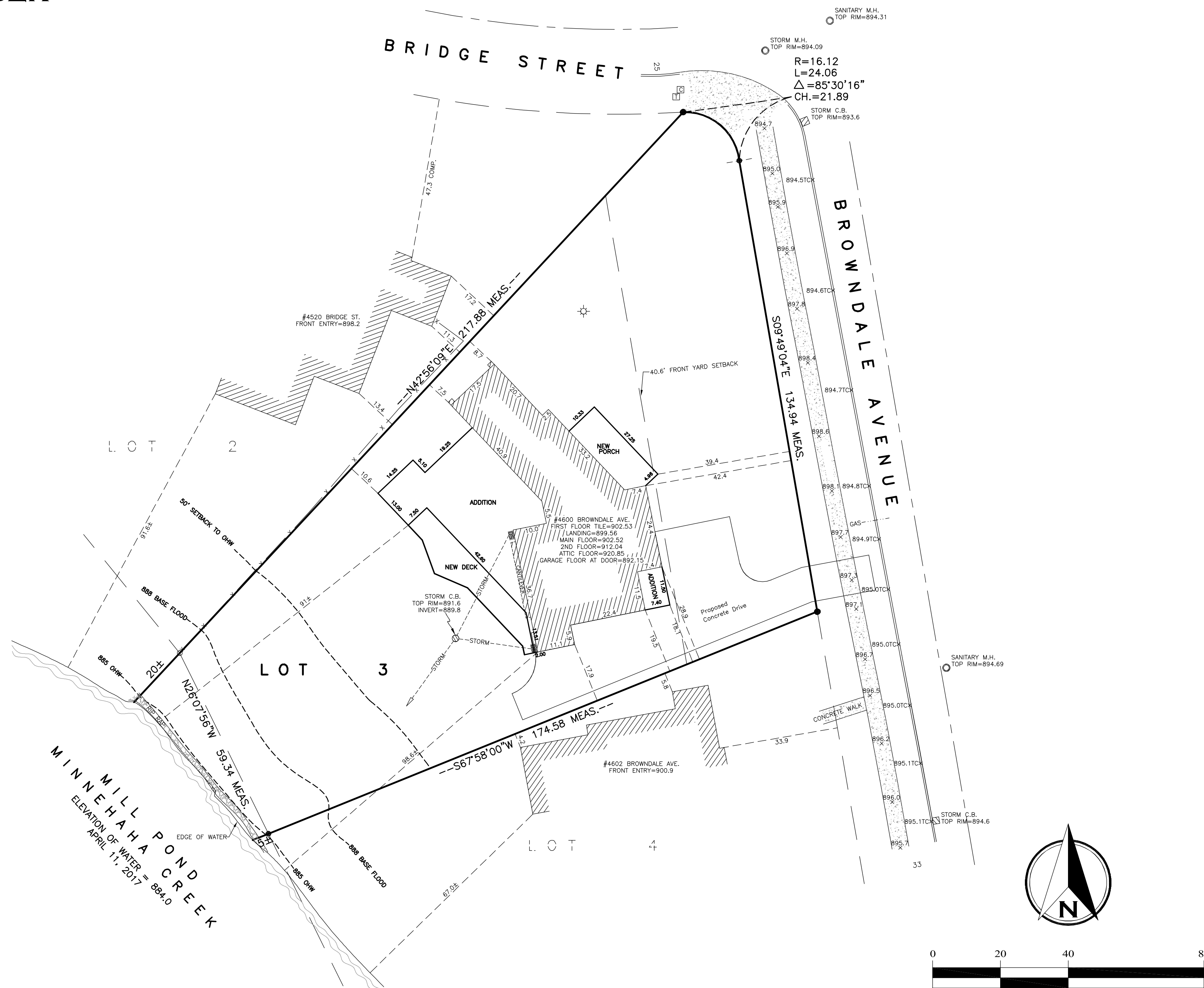
House w/ Cantilever = 2,320 SF  
Deck = 373 SF  
Patios = 674 SF

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Patio/Deck = -150 SF  
Total = 3,367 SF  
= 16.2%  
25% Maximum Allowable Lot Coverage

**NOTES:**

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INFORMATION USED TO SUPPORT THIS DRAWING COMES FROM SURVEY DRAWINGS OF EACH INDIVIDUAL PROPERTY AS LISTED BELOW. THIS DIAGRAM IS DRAWN TO SCALE AND THE DIMENSIONS SHOWN COME DIRECTLY FROM THE SURVEYOR'S DRAWINGS.

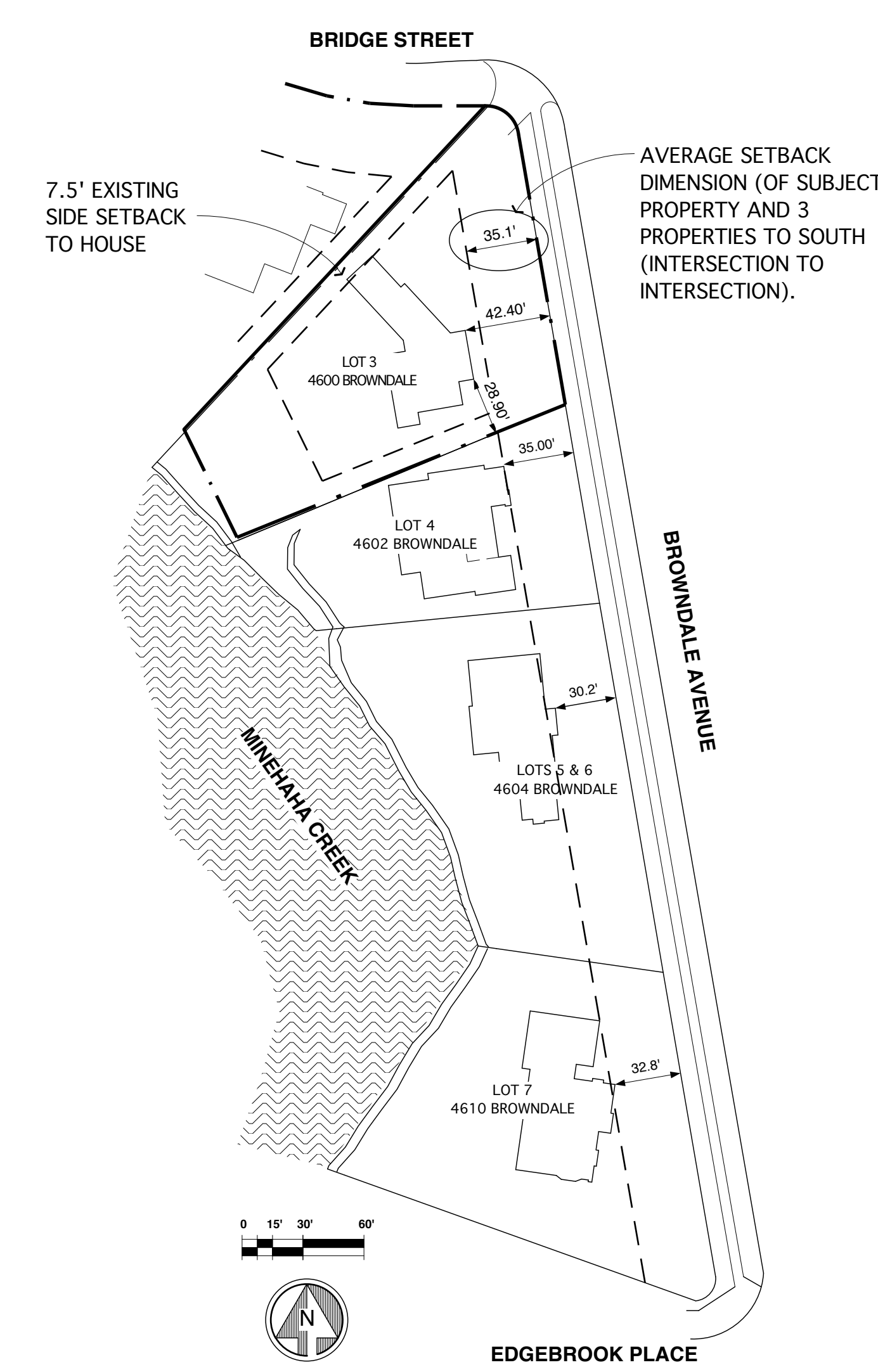
THE AVERAGE SETBACK DIMENSION WAS CALCULATED ACCORDING TO THE ZONING CODE, CITY OF EDINA, SECTION 36-439 (1), SPECIAL REQUIREMENTS.

LOT 3, 4600 BROWDALE AVE.:  
W. BROWN LAND SURVEYING, INC., 04/17/17

LOTS 4, 4602 BROWDALE AVE.:  
THE GREGORY GROUP, INC. (D.B.A. LOT SURVEYS COMPANY), 06/27/17

LOTS 5 & 6, 4604 BROWDALE AVE.:  
THE GREGORY GROUP, INC. (D.B.A. LOT SURVEYS COMPANY), 05/19/19

LOT 7, 4610 BROWDALE AVE.:  
EGAN, FIELD & NOWAK, INC. 01/28/16, REVISED 05/31/16



<b>JOB NO.</b> 55-17	<b>SCALE</b> 1" = 20'	<b>DATE</b> 12-18-2019	<b>REVISIONS</b> Update previous survey dated 04-17-2019.	<b>SITE ADDRESS</b> 4600 Browndale Ave. Edina, MN 55424	I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota. <b>W. BROWN LAND SURVEYING, INC.</b> 8030 CEDAR AVENUE SO., SUITE 228. BLOOMINGTON, MN 55425 BUS: (952) 854-4055 FAX: (952) 854-4268 EMAIL: WBLANDSURVEY@AOL.COM
<b>BOOK/PAGE</b> 143/65	<b>DRAWN</b> CME	<b>REFERENCE</b> 55-17 143/65	<b>PROPERTY DESCRIPTION</b> Lot 3, Block 14, COUNTRY CLUB DISTRICT BROWN SECTION, Hennepin County, Minnesota.	<b>BENCHMARK</b> T.N.H. at the Northwest Corner of Browndale Ave. and Bridge St. Elevation = 897.38.	
<b>SHEET</b> 1 of 1			<b>DATED:</b> 12-30-2019 WOODROW A. BROWN, R.L.S. MN REG 15230		



Charles Levin Architects

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F: 612.729.8351  
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ARCHITECT'S PROJECT #1581

### WYROBEK FAMILY RESIDENCE

DESIGN STUDY FOR 4600 BROWDALE EDINA, MN

SUBMITTAL FOR SKETCH REVIEW 1/8/20

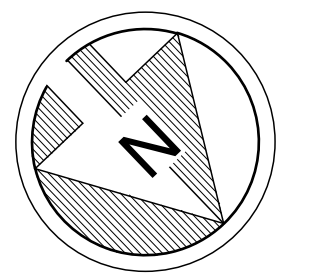
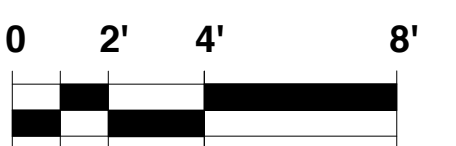
10:45 AM Thu, Jan 9, 2020

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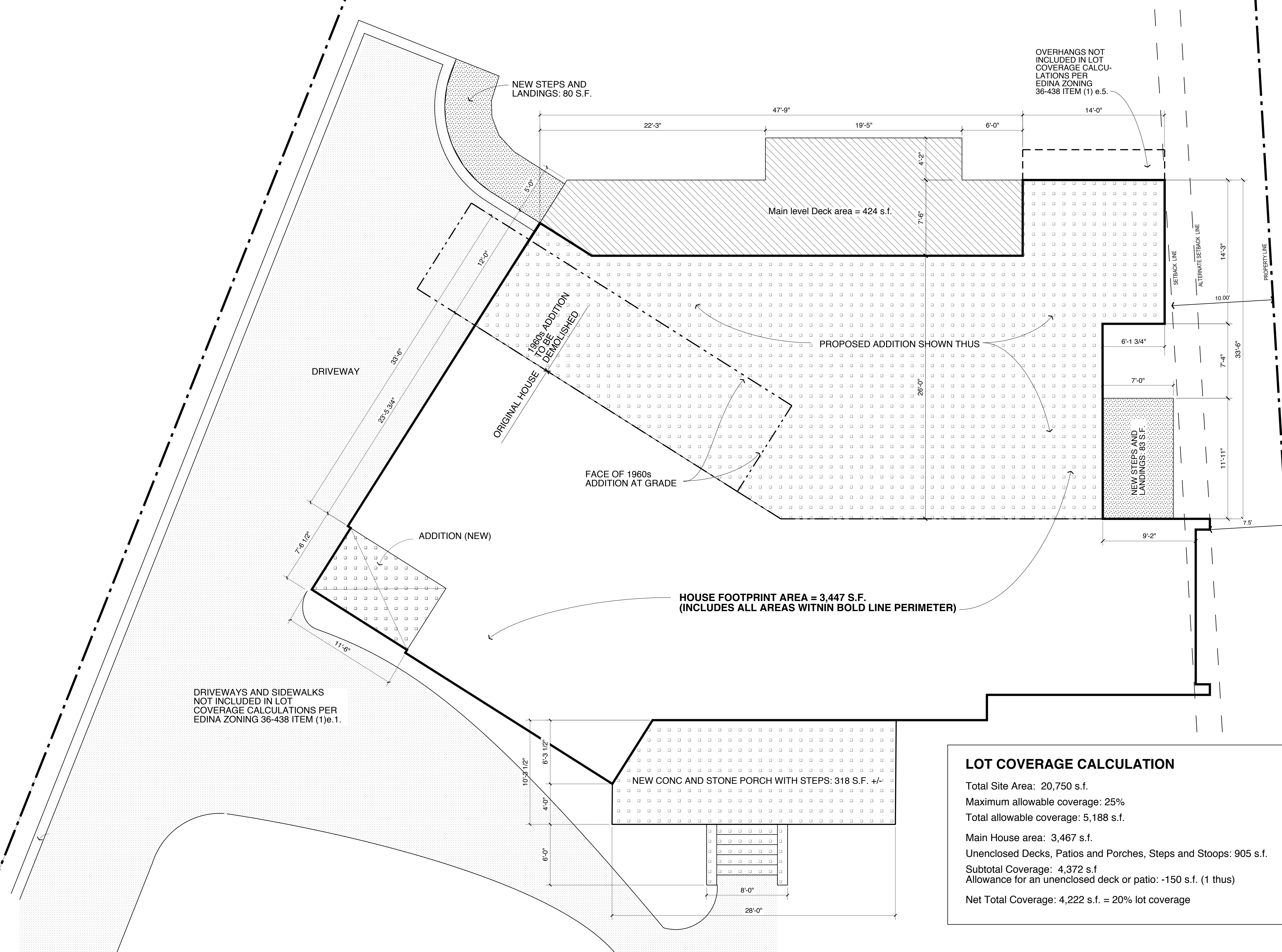
Date: xx/xx/xxxx



### LOT COVERAGE PLAN

# A0.3

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**LOT COVERAGE CALCULATION**

Total Site Area: 20,750 s.f.  
 Maximum allowable coverage: 25%  
 Total allowable coverage: 5,188 s.f.

Main House area: 3,467 s.f.  
 Unenclosed Decks, Patios and Porches, Steps and Stoops: 905 s.f.  
 Subtotal Coverage: 4,372 s.f.  
 Allowance for an unenclosed deck or patio: -150 s.f. (1 thus)

Net Total Coverage: 4,222 s.f. = 20% lot coverage





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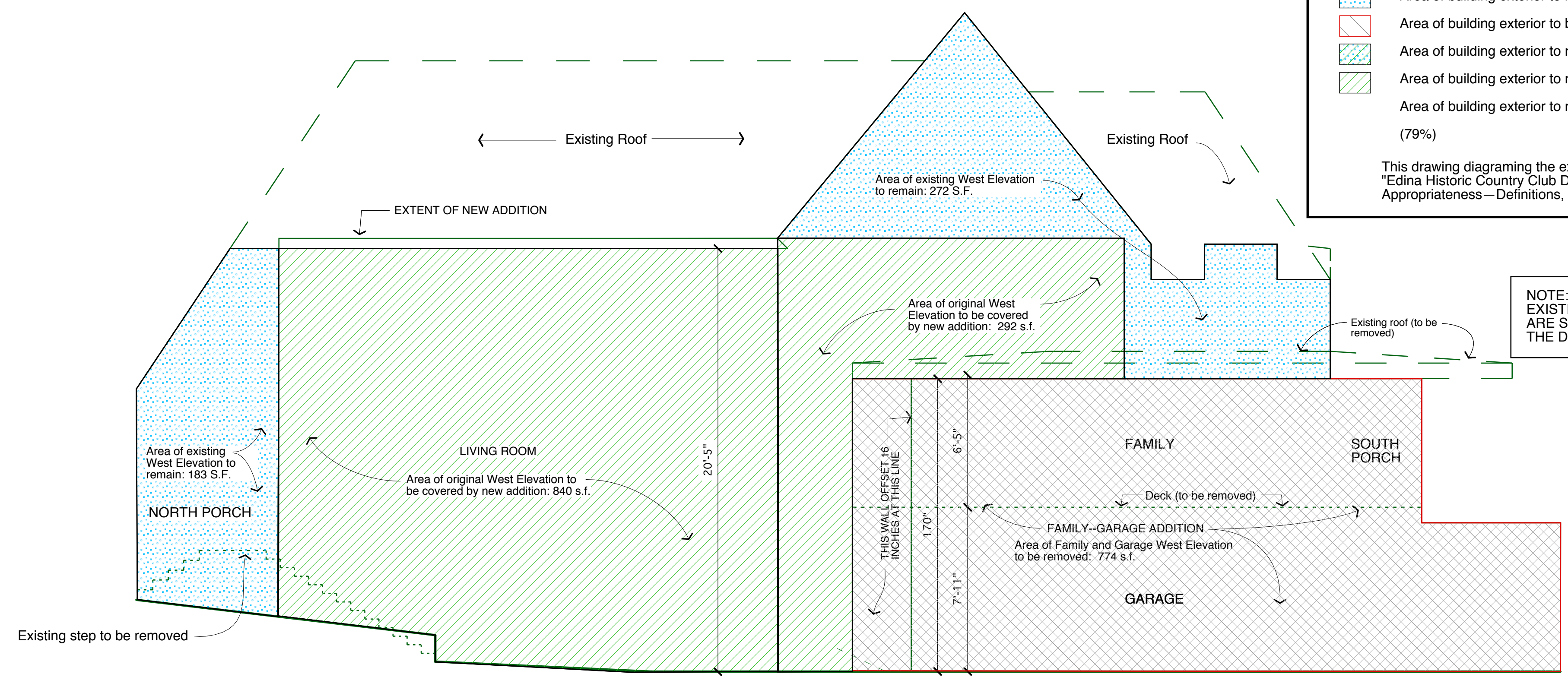
**SUMMARY OF EXTERIOR WALLS AFFECTED BY PROPOSED REMODELING**

Total area of existing building exterior: 5,649 s.f.

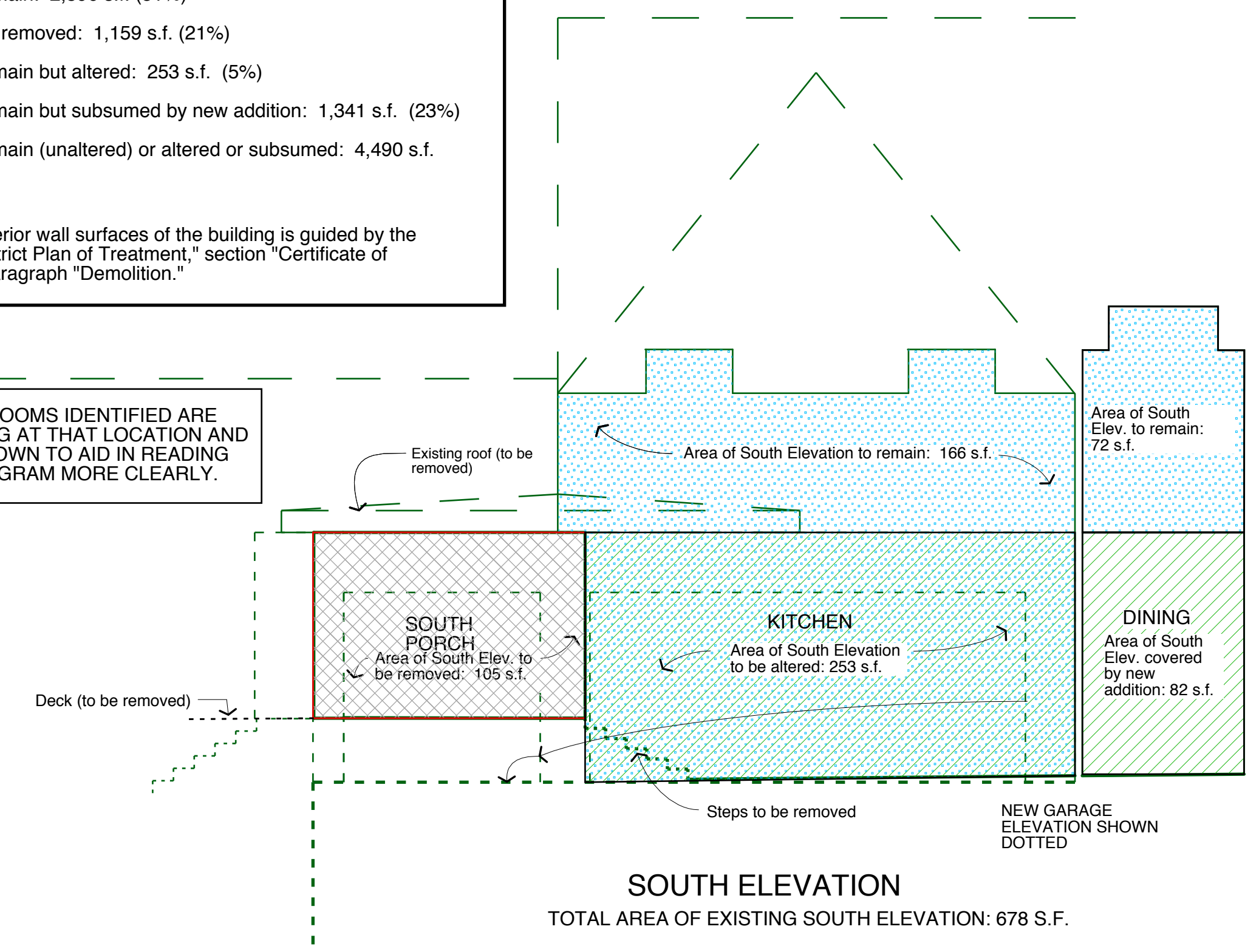
- Area of building exterior to remain: 2,896 s.f. (51%)
- Area of building exterior to be removed: 1,159 s.f. (21%)
- Area of building exterior to remain but altered: 253 s.f. (5%)
- Area of building exterior to remain but subsumed by new addition: 1,341 s.f. (23%)

Area of building exterior to remain (unaltered) or altered or subsumed: 4,490 s.f. (79%)

This drawing diagramming the exterior wall surfaces of the building is guided by the "Edina Historic Country Club District Plan of Treatment," section "Certificate of Appropriateness—Definitions, paragraph "Demolition."



**WEST ELEVATION**  
TOTAL AREA OF EXISTING WEST ELEVATION: 2,361 S.F.



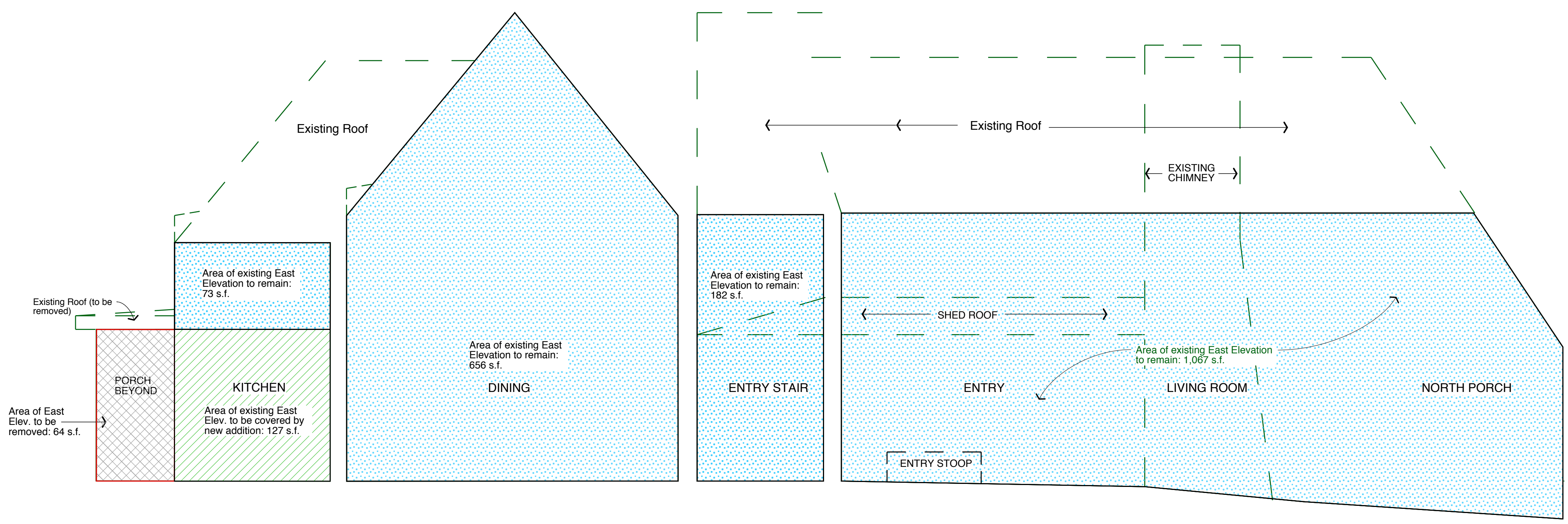
**SOUTH ELEVATION**  
TOTAL AREA OF EXISTING SOUTH ELEVATION: 678 S.F.

NOTE: ROOMS IDENTIFIED ARE EXISTING AT THAT LOCATION AND ARE SHOWN TO AID IN READING THE DIAGRAM MORE CLEARLY.

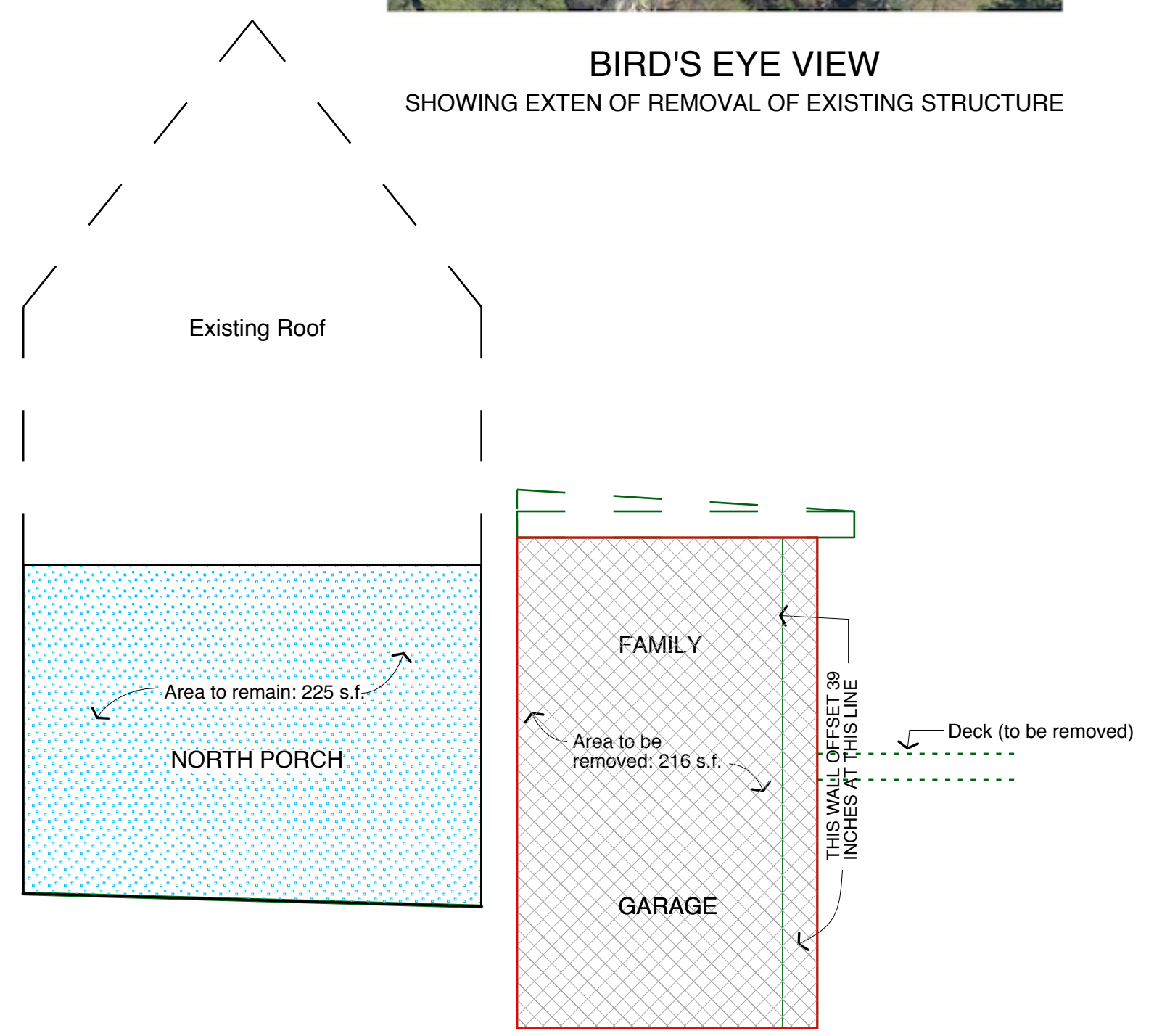


**BIRD'S EYE VIEW**  
SHOWING EXTEN OF REMOVAL OF EXISTING STRUCTURE

THIS 1960s ADDITION TO BE DEMOLISHED



**EAST ELEVATION**  
TOTAL AREA OF EXISTING EAST ELEVATION: 2,169 S.F.



**NORTH ELEVATION**  
TOTAL AREA OF EXISTING NORTH ELEVATION: 441 S.F.

**DEMO CLARIFICATION**

**A0.4**





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ARCHITECT'S PROJECT #1581

**WYROBEK  
FAMILY  
RESIDENCE**

DESIGN STUDY FOR  
4600 BROWDALE  
EDINA, MN

SUBMITTAL FOR 12/27/19  
CERTIFICATE OF  
APPROPRIATENESS

\_\_\_\_\_  
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10:39 AM 1/9/20

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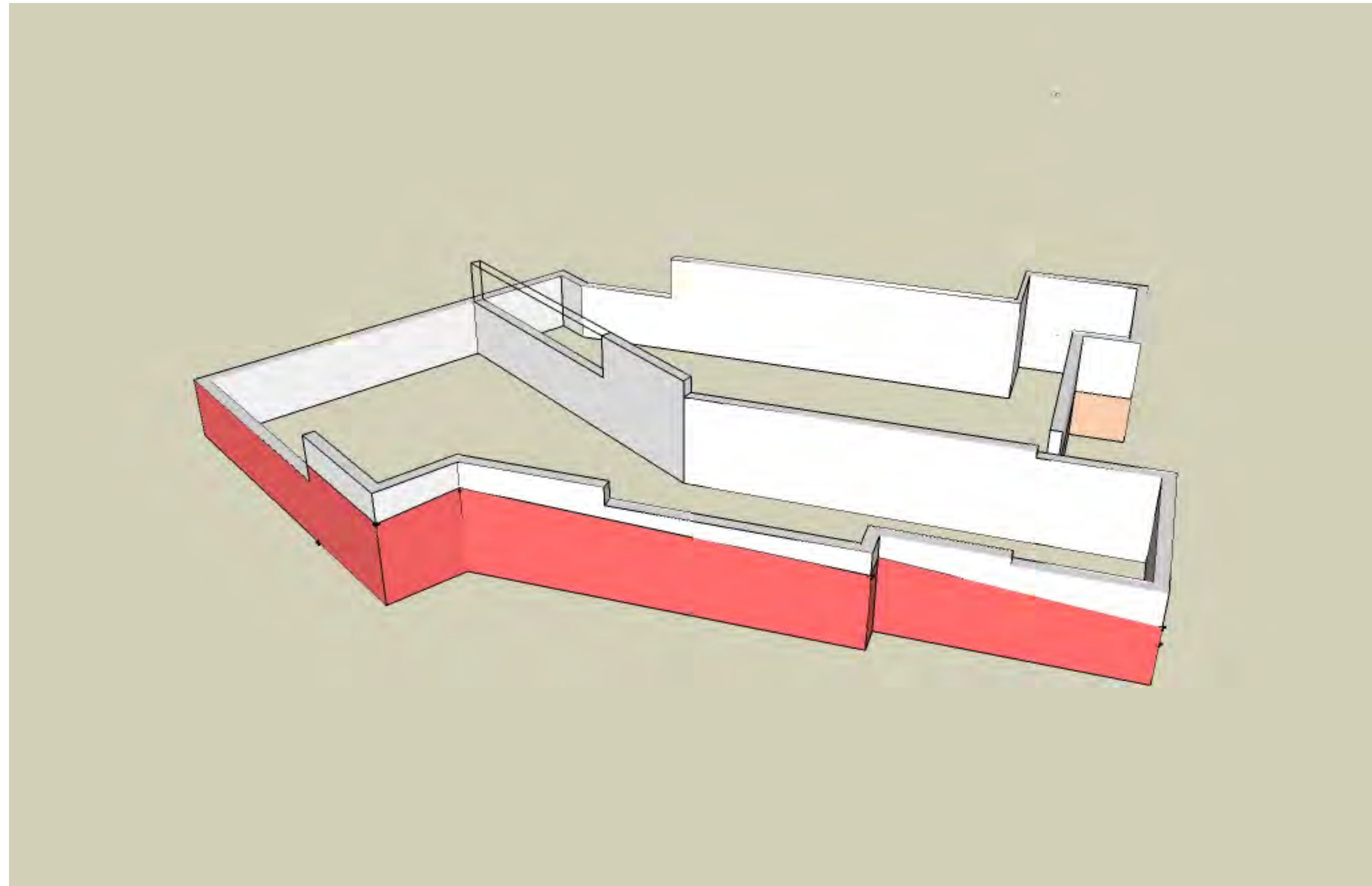
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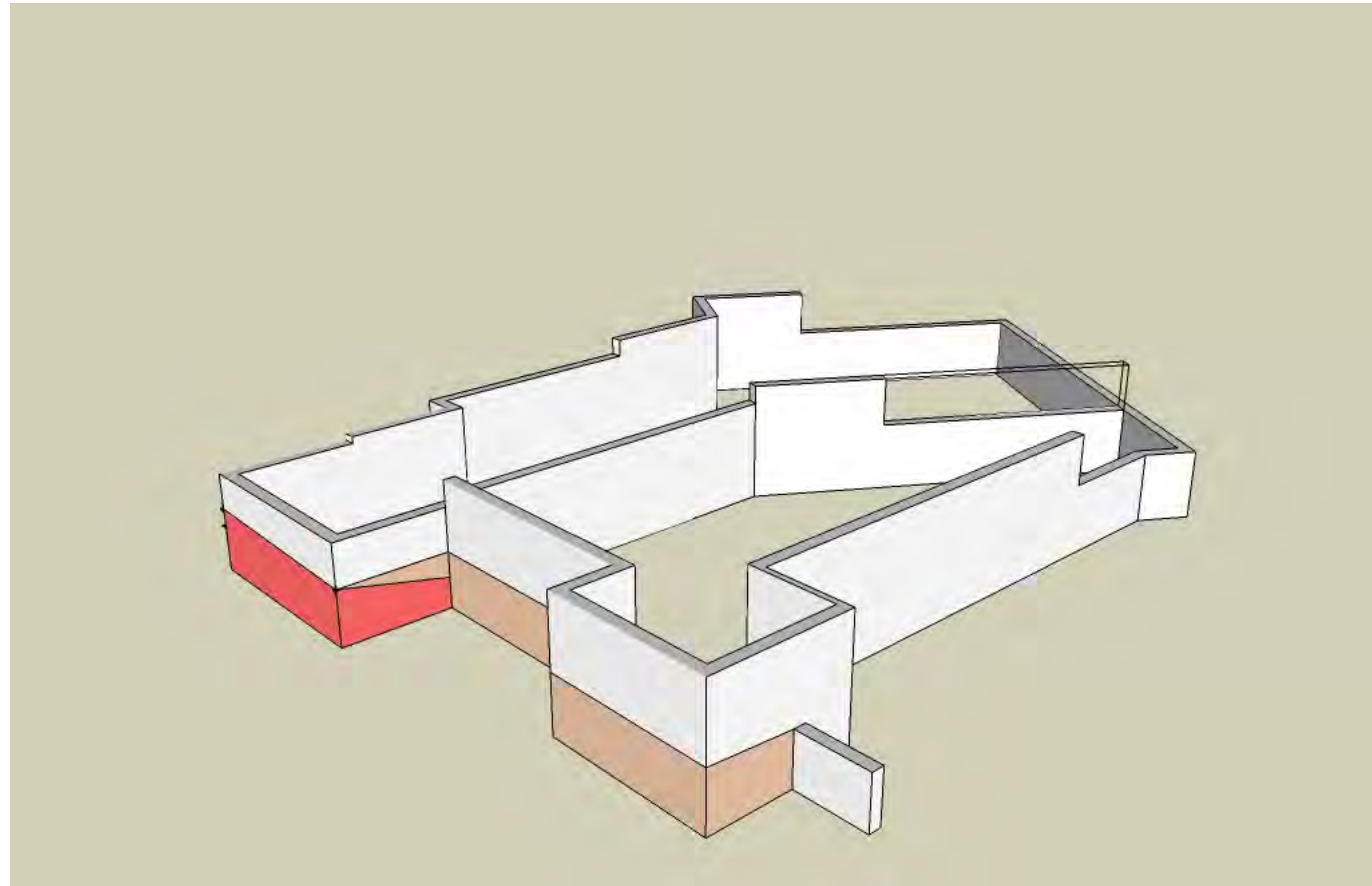
**BASEMENT  
STORY  
STUDY**

**A0.5**

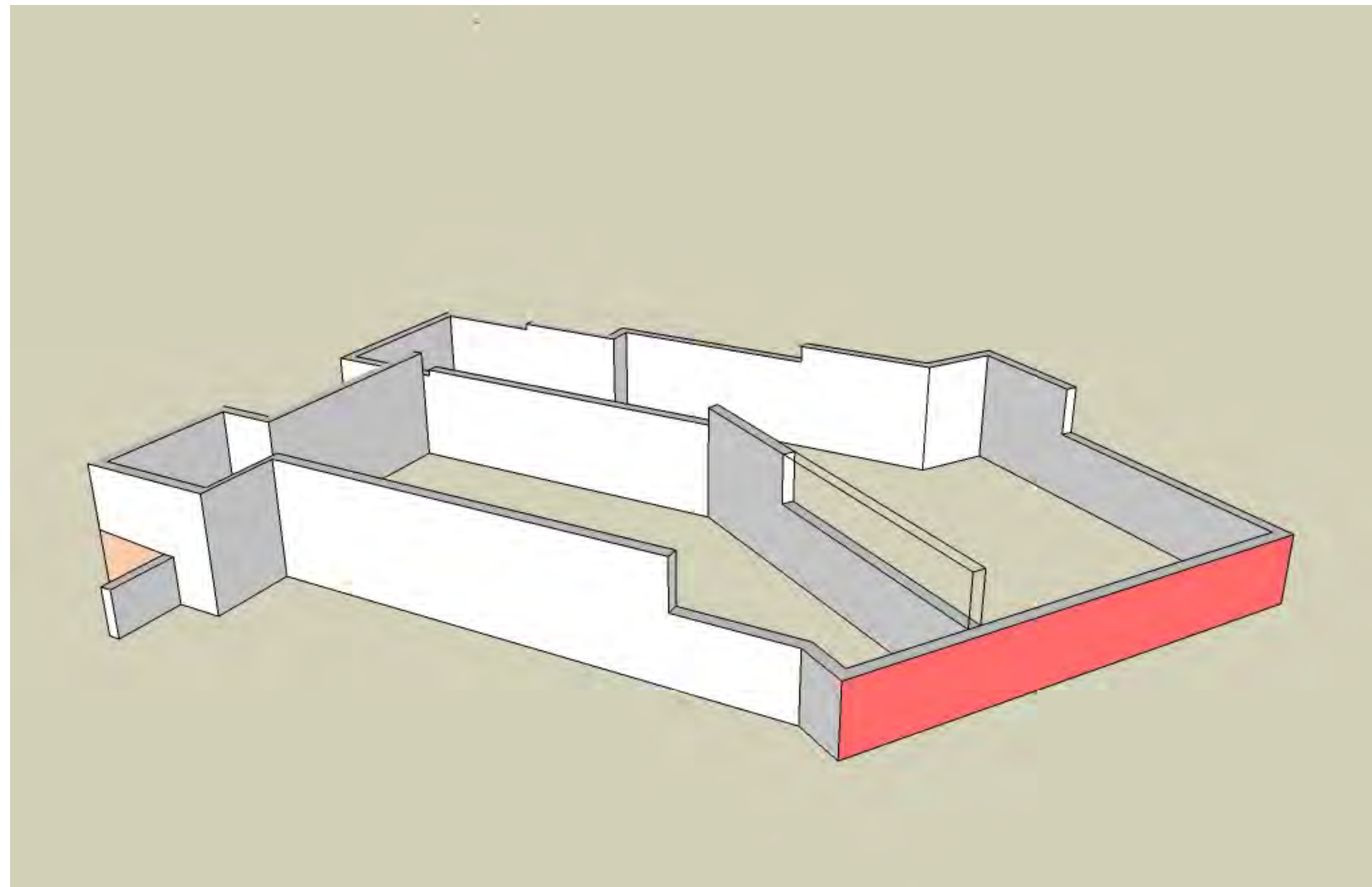
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**VIEW FROM NORTHEAST**



**VIEW FROM NORTHWEST**



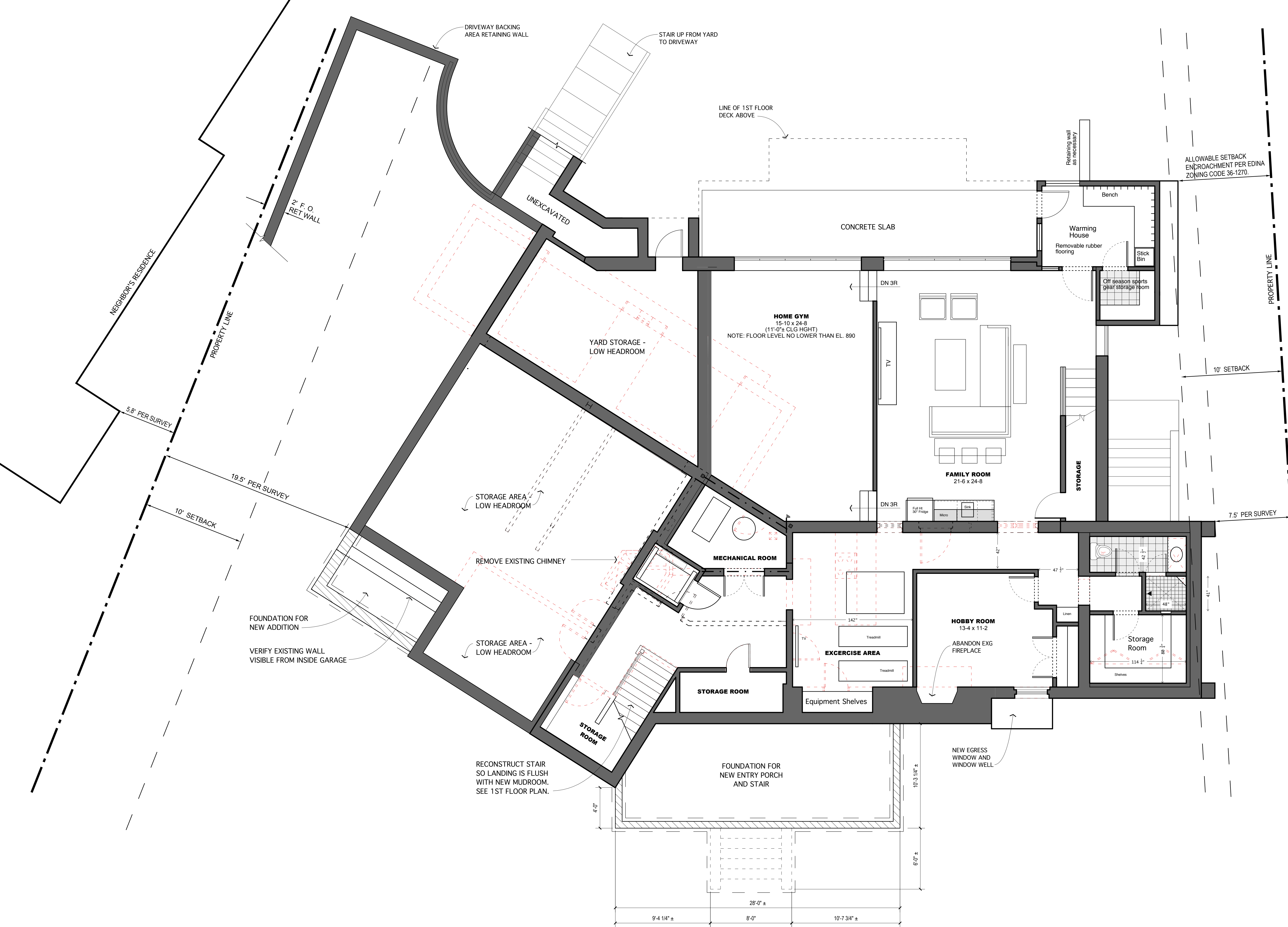
**VIEW FROM SOUTHWEST**

Basement means a floor level of a building which is located partly or completely underground.

Story means that portion of a building included between the surface of any floor and the surface of the floor next above, or if there is not a floor above, the space between the floor and the ceiling above. A basement with more than 50 percent of its exterior wall area located entirely below the proposed ground elevation adjoining the basement shall not be counted as a story.

The basement will be 54.17% buried, so it will comply. The white is the portion above grade, the pink is the below grade of the existing building and the peach is the below grade of the new.





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**WYROBEK FAMILY RESIDENCE**

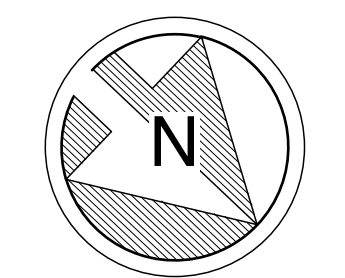
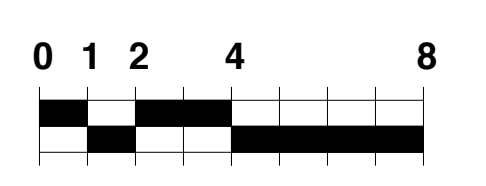
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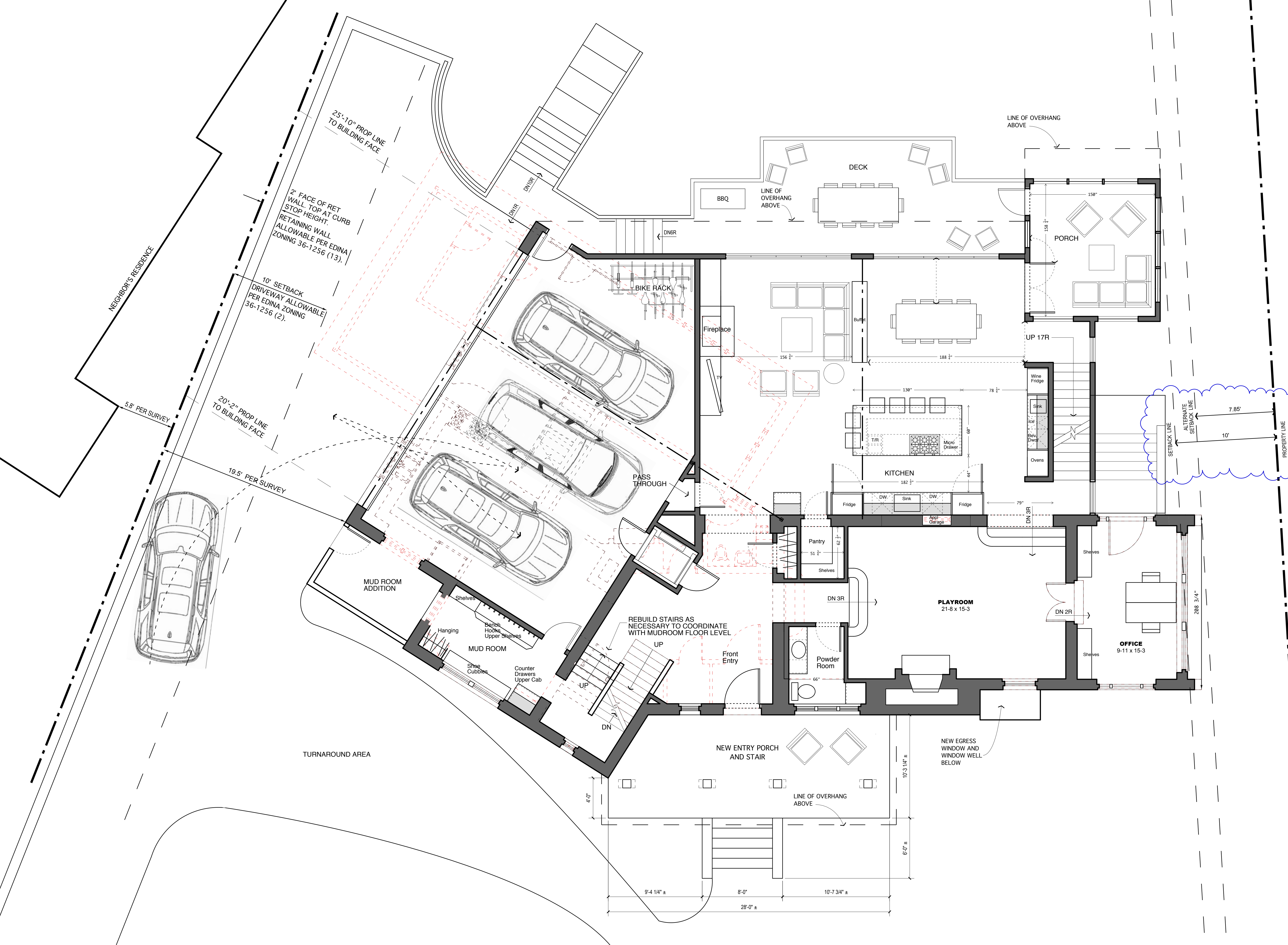
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**BASEMENT FLOOR PLAN Scheme C**

**A2.0**





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**WYROBEK FAMILY RESIDENCE**  
 DESIGN STUDY FOR 4600 BROWDALE EDINA, MN

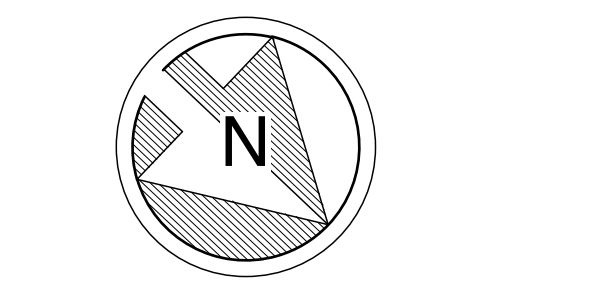
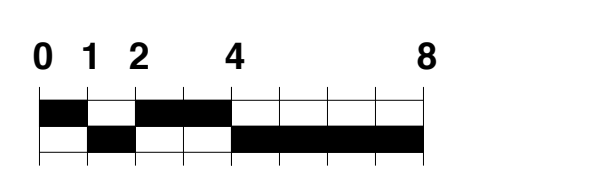
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**1st FLOOR PLAN Scheme C**

**A3.0**









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### WYROBEK FAMILY RESIDENCE

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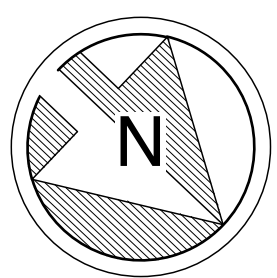
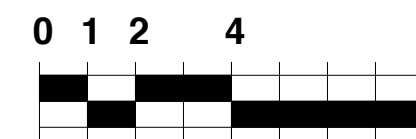
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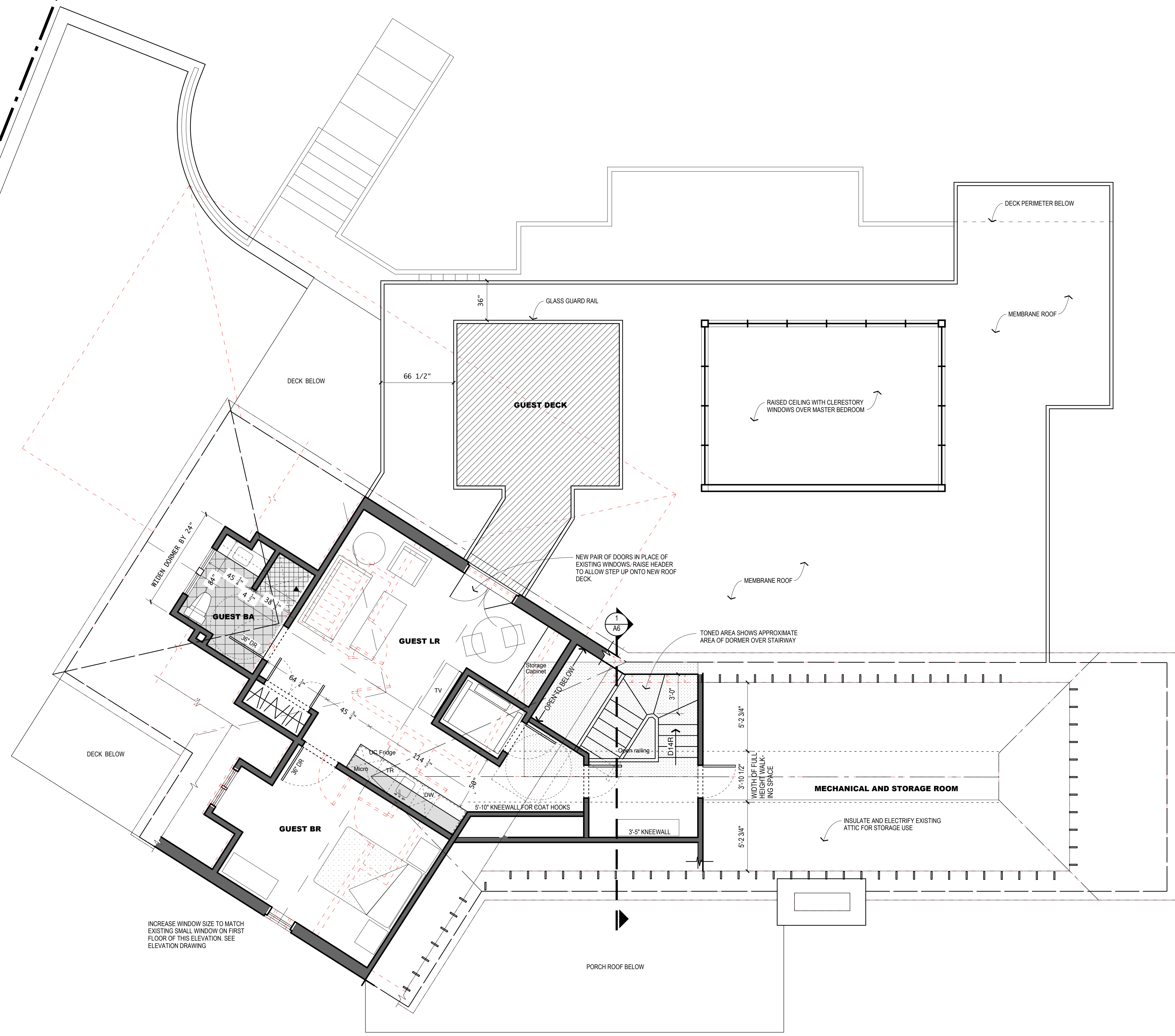
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### 3rd FLOOR PLAN Scheme B

A5.0

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INCREASE WINDOW SIZE TO MATCH EXISTING SMALL WINDOW ON FIRST FLOOR OF THIS ELEVATION. SEE ELEVATION DRAWING



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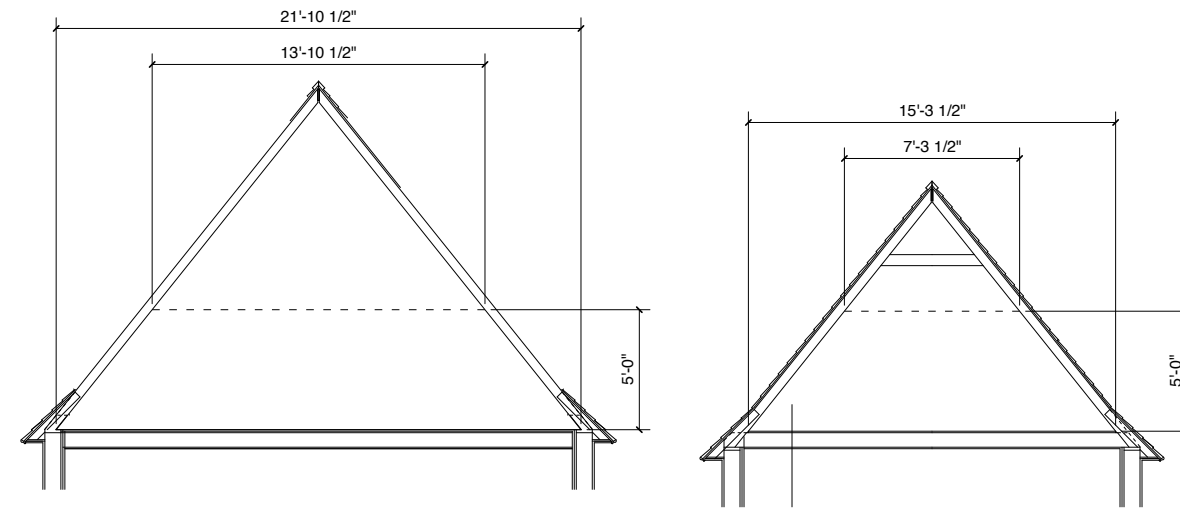
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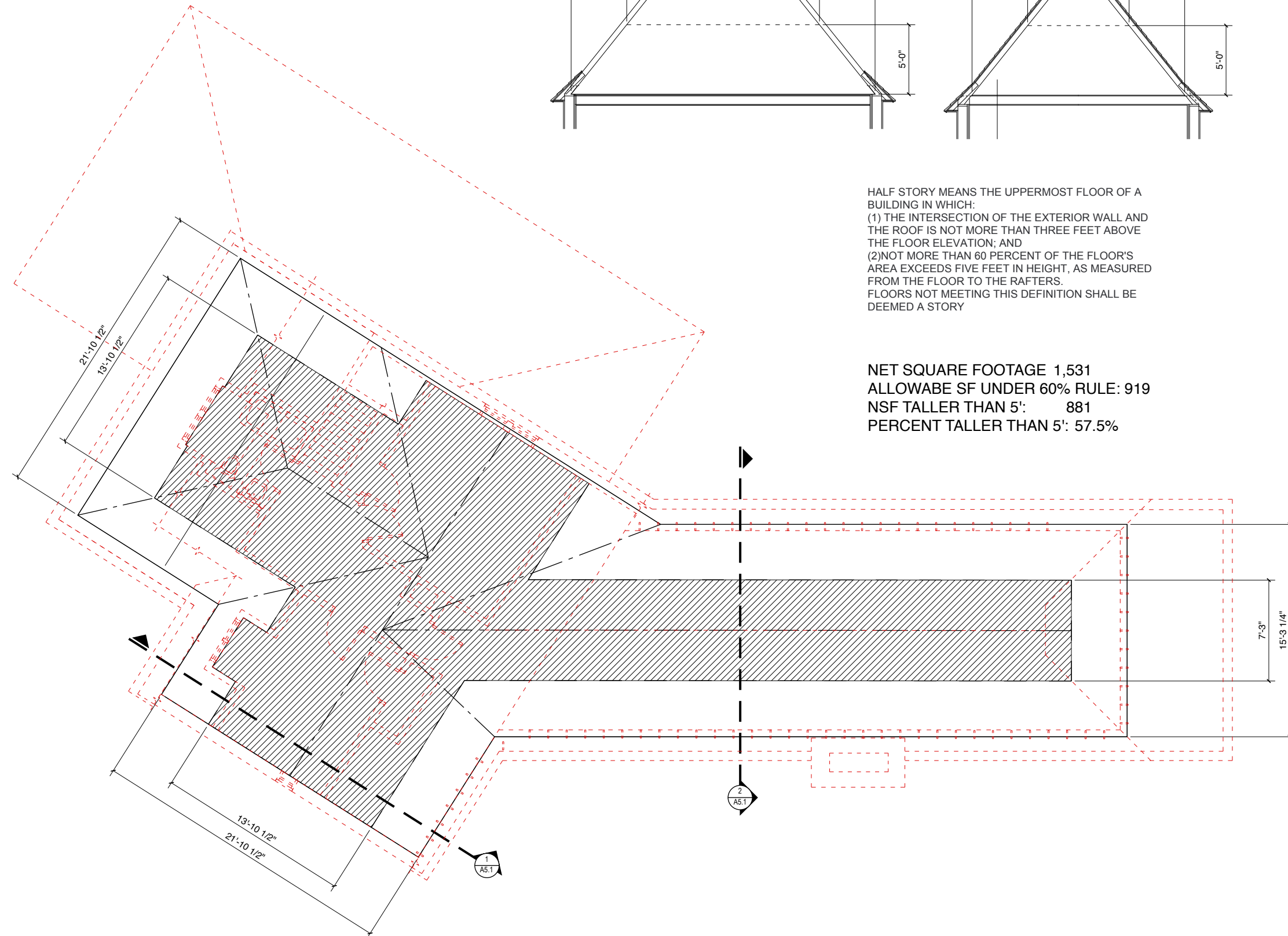
3rd FLOOR PLAN SF Scheme B

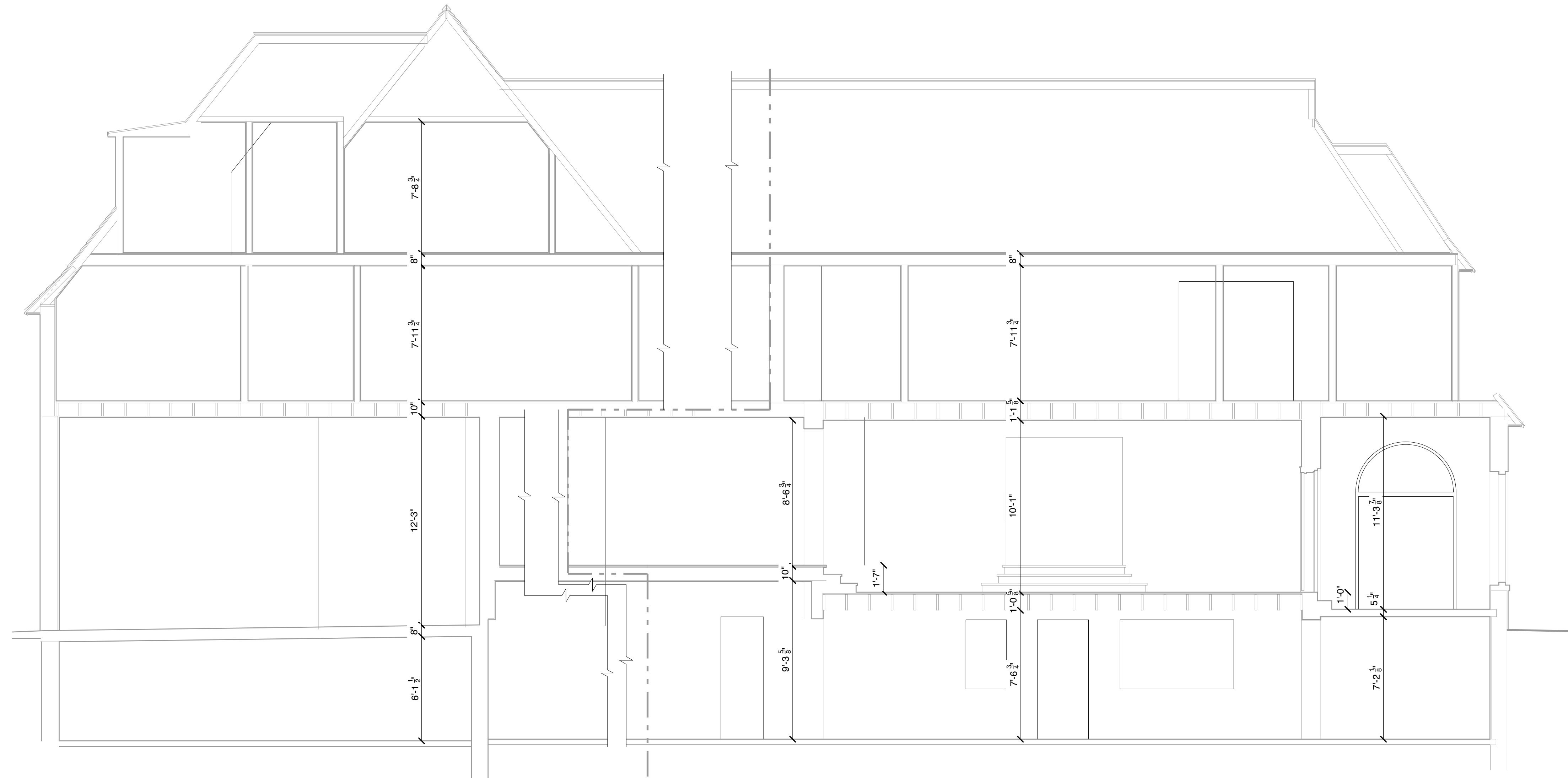
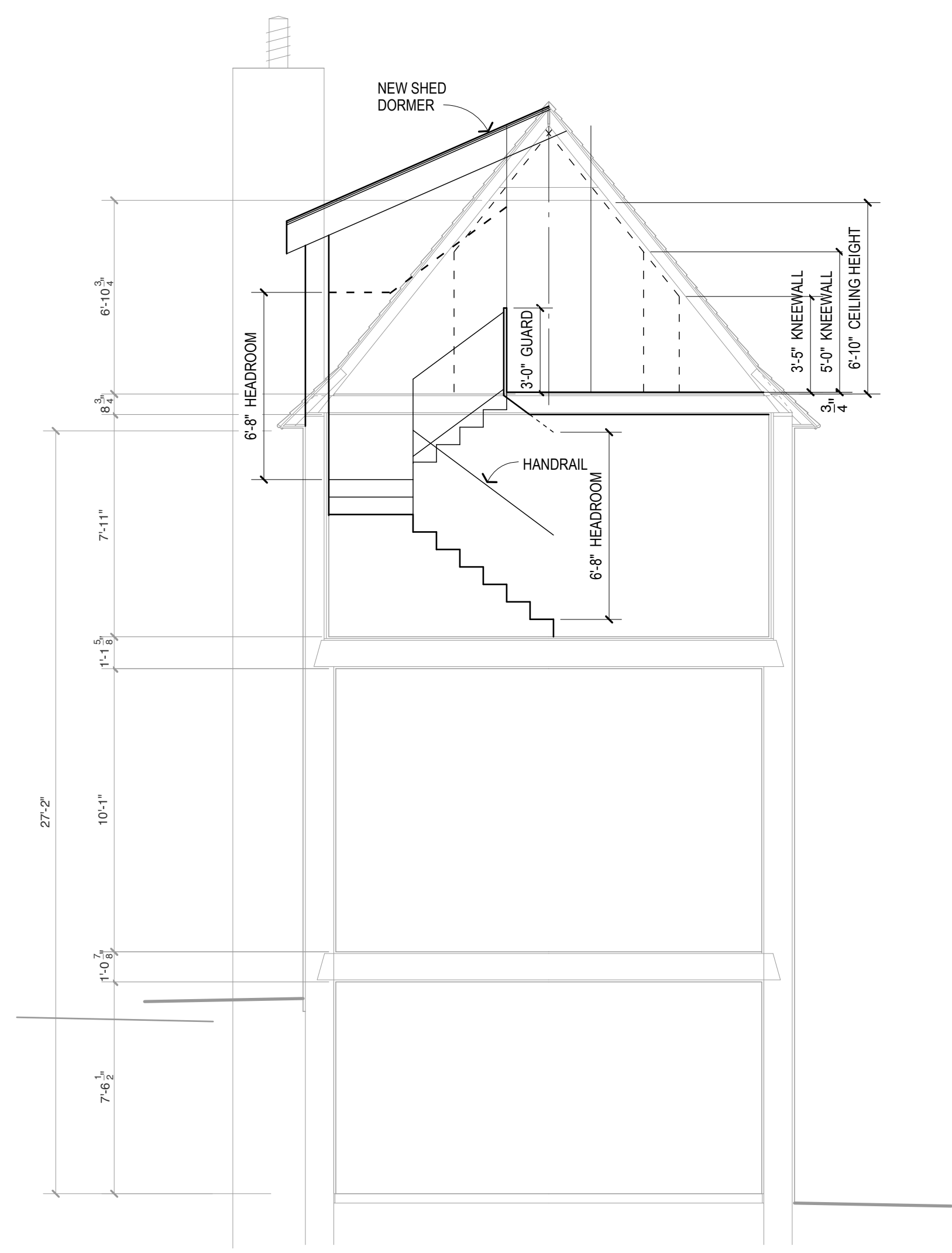
A5.1



HALF STORY MEANS THE UPPERMOST FLOOR OF A BUILDING IN WHICH: (1) THE INTERSECTION OF THE EXTERIOR WALL AND THE ROOF IS NOT MORE THAN THREE FEET ABOVE THE FLOOR ELEVATION; AND (2) NOT MORE THAN 60 PERCENT OF THE FLOOR'S AREA EXCEEDS FIVE FEET IN HEIGHT, AS MEASURED FROM THE FLOOR TO THE RAFTERS. FLOORS NOT MEETING THIS DEFINITION SHALL BE DEEMED A STORY

NET SQUARE FOOTAGE 1,531 ALLOWABLE SF UNDER 60% RULE: 919 NSF TALLER THAN 5': 881 PERCENT TALLER THAN 5': 57.5%





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ARCHITECT'S PROJECT #1581

**WYROBEK  
FAMILY  
RESIDENCE**

**DESIGN STUDY FOR  
4600 BROWDALE  
EDINA, MN**

SUBMITTAL FOR  
SKETCH REVIEW 1/8/20

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**BUILDING  
CROSS  
SECTIONS**

**A6.0**





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### WYROBEK FAMILY RESIDENCE

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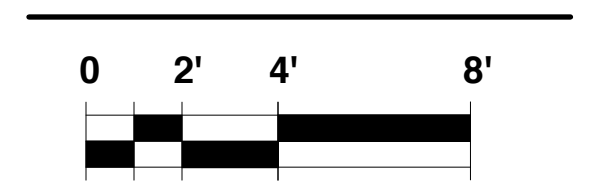
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### STREET FACADE (EAST)

# A7.0

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Proposed Street Facade



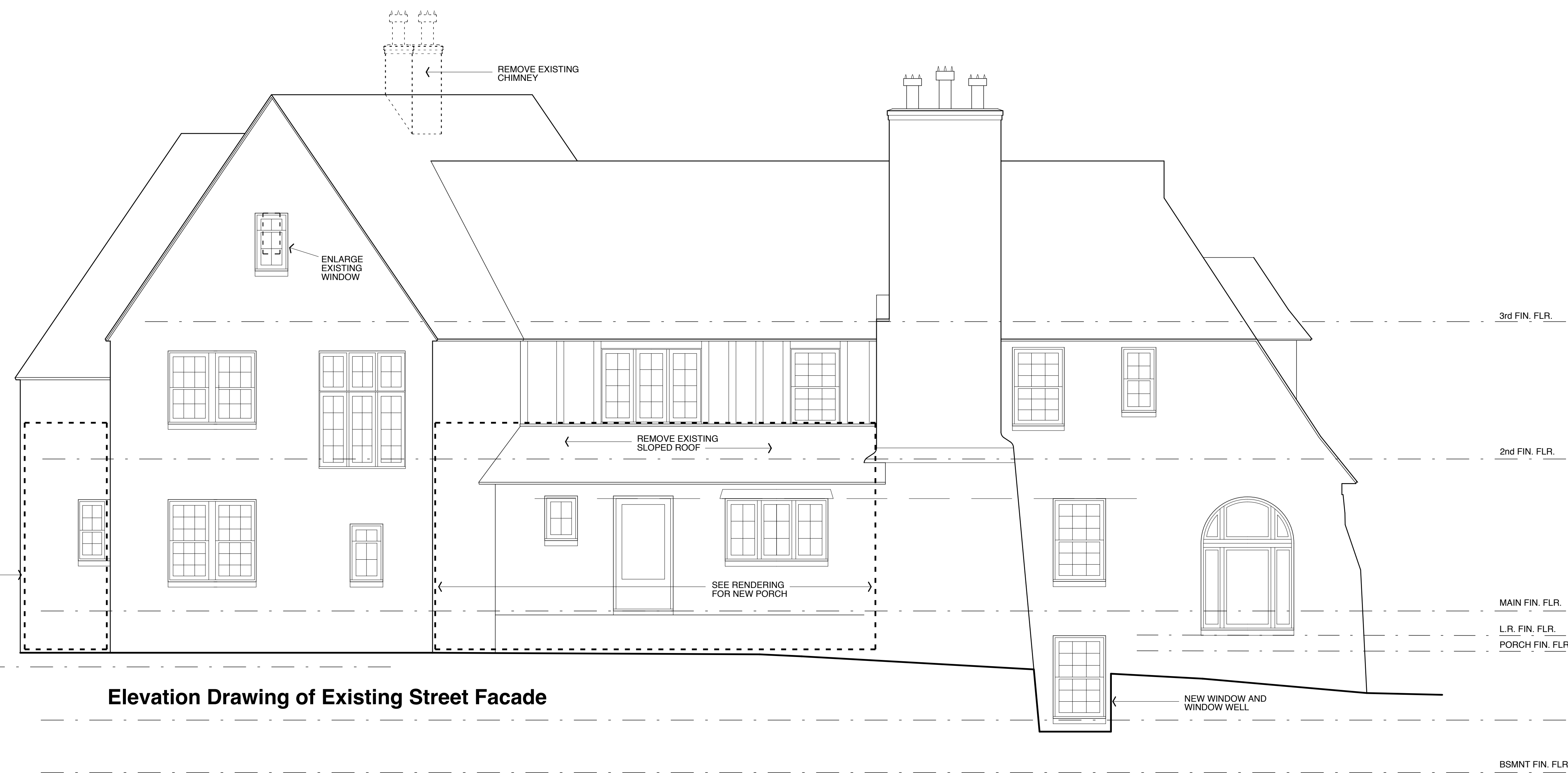
Existing Street Facade



Close up of Existing Entry



Fireplace stone detail



Elevation Drawing of Existing Street Facade





Street Facade showing main gable fenestration



Street Facade showing main gable fenestration

Hennepin

Flight date: January 4, 2019



<https://oblique.sanborn.com/Hennepin/?l=44.915904,-93.344288&zoom=19>

Aerial photo showing existing driveway position at Browndale/Bridge intersection



Street Facade soon after construction



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**STREET  
FACADE  
(EAST)**

**A7.1**





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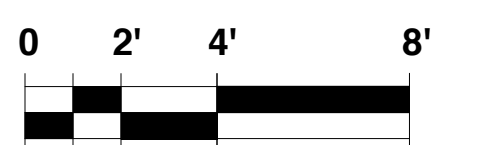
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**EAST ELEV  
PARALLEL  
TO GABLE**

**A8.1**







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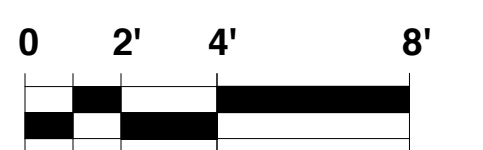
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**EAST ELEV  
PARALLEL  
TO PORCH**

**A8.2**





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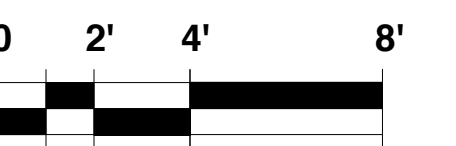
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**NORTH  
ELEVATION**

**A8.3**





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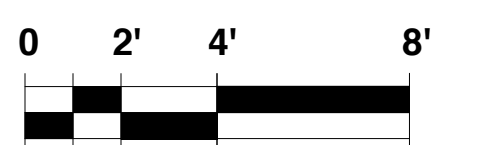
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**WEST  
ELEVATION**

**A8.4**

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**BIRD'S EYE  
FROM EAST**

**A8.6**

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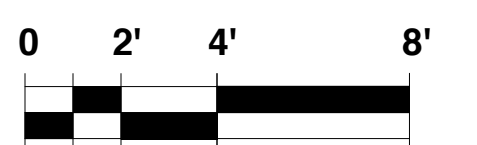
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Date: xx/xx/xxxx



**SOUTH  
ELEVATION  
(GARAGE)**

**A8.5**





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Avenue

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ARCHITECT'S PROJECT #1581

**WYROBEK  
FAMILY  
RESIDENCE**

DESIGN STUDY FOR  
4600 BROWDALE  
EDINA, MN

SUBMITTAL FOR  
SKETCH REVIEW 1/8/20

11:35 AM Thu, Jan 9, 2020

I hereby certify that this plan, specification or rendering was prepared by me or under my direct supervision and I am a duly licensed architect under the laws of the State of Minnesota.

**DESIGN STUDY  
NOT FOR  
CONSTRUCTION**

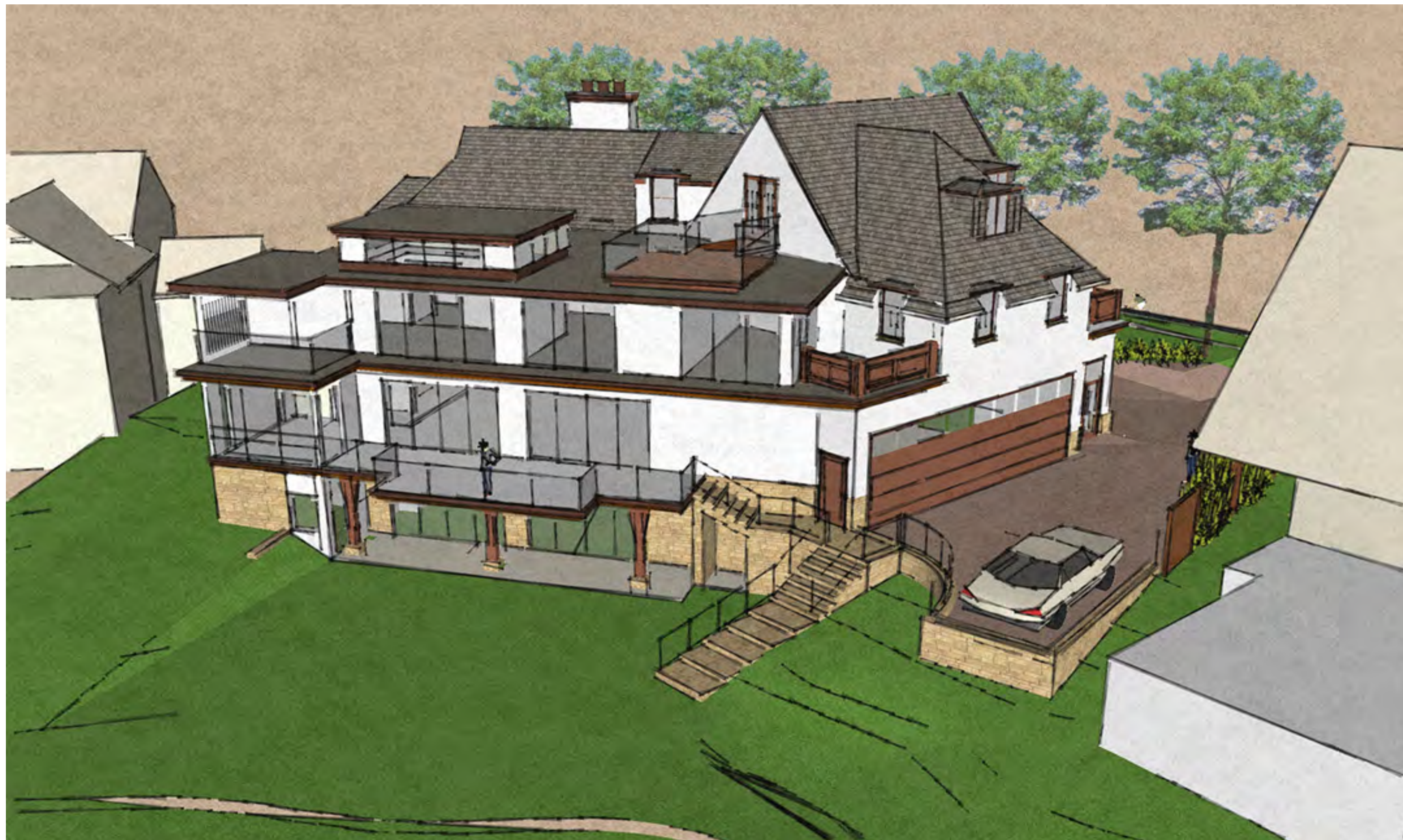
Charles Levin  
Professional License No. 14672  
Date: xx/xx/xxxx



**BIRD'S EYE  
FROM WEST**

**A8.7**

© 2020  
Charles Levin Architects







**Charles  
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ARCHITECT'S PROJECT #1581

**WYROBEK  
FAMILY  
RESIDENCE**

DESIGN STUDY FOR  
4600 BROWDALE  
EDINA, MN

SUBMITTAL FOR  
SKETCH REVIEW 1/8/20

11:36 AM Thu, Jan 9, 2020

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Minnesota.

**DESIGN STUDY  
NOT FOR  
CONSTRUCTION**

Charles Levin  
Professional Engineer License No. 14672  
Date: xx/xx/xxxx

**CURB CUT &  
PROPERTY  
LINE  
TREATMENT**

**A8.8**





## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VI.C.

**To:** Heritage Preservation Commission

**Item Type:**

Other

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** COA Policy/Processes

Discussion, Information

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### **ACTION REQUESTED:**

None.

### **INTRODUCTION:**

Staff is presenting new COA applications with the COA notification requirement changed to 200 feet for garages and changes to street facing facades. The notification area will remain 300 feet for new homes.

### **ATTACHMENTS:**

COA Application: Garages

COA Application: Changes to Street Facade

COA Application: New Home

Optional Sketch Plan





# HERITAGE PRESERVATION COMMISSION

## COUNTRY CLUB DISTRICT CERTIFICATE OF APPROPRIATENESS (COA) NEW GARAGE/GARAGE DEMOLITION

### **REQUIREMENTS:**

	Meeting with City Planner prior to application to review the proposed project.
	Completed application and fee.
	One copy of the exterior elevations of the entire façades detailing the proposed work. Elevations should be drawn to scale and submitted on 11 x 17 paper and should include an inventory of materials to be used.
	Narrative explaining the proposed project and how the project meets the Plan of Treatment
	Survey of the property showing proposed changes. (See the City's survey policy for more information).
	Elevation drawings showing the percentage of exterior walls being removed with the proposed project.
	Electronic submittal of all submitted documents emailed to City Planner or submitted on a flash drive with the paper submittal.
	Depending on the scope of the proposed project, the City Planner may require additional information to be submitted prior to an application being deemed complete. This may include more detailed construction drawings.
	Photos of surrounding detached garages detailing the heights of the structures.

**\* Design guidelines can be found in the Country Club District's Plan of Treatment\***

***The Plan of Treatment indicates that the roofline of the new garage should have a maximum height within 10% of the average height of existing detached garages on adjacent lots, or the average of the block.***

A complete application package must be received by 4:30 p.m. on the deadline date to be heard at the next Heritage Preservation Commission (HPC) meeting.



## **PROCESS:**

### **Prior to the Meeting -**

Upon receipt of a complete application package, a notice will be mailed to property owners within 200 feet of the subject property advising them of the requested COA and inviting them to view the plans at City Hall.

The Planning Department will post a staff report on the City's website as a part of the Heritage Preservation Commission meeting packet on the Friday before the HPC meeting.

### **Heritage Preservation Commission Meeting**

- The staff report with recommended action will be presented.
- The applicant will have an opportunity to elaborate on their project and address questions. (15-minute presentation maximum).
- Members of the public will have an opportunity to ask questions and/or comment on the project. (Time limit 3 mins per speaker).
- The HPC will ask questions, make comments and vote whether or not to approve the project.
- Plans submitted with the application should be considered final. Any changes to the plan presented at the meeting will delay the project.

There is a ten-day appeal period whereby a decision of the Commission may be appealed to the City Council. If approved, a formal COA will be issued after the ten-day appeal period and the applicant may proceed with the building permit process. Any changes to the approved plan must come back to the Heritage Preservation Commission for a new COA, and a new notice will be mailed to the recipients of the first meeting notice.

**Note:** The applicant (or a representative) must attend the HPC Meeting when the request for a COA is considered.





# HERITAGE PRESERVATION COMMISSION

## COUNTRY CLUB DISTRICT CERTIFICATE OF APPROPRIATENESS (COA)

### CHANGES TO STREET FACING FACADES

#### **REQUIREMENTS:**

	Meeting with City Planner prior to application to review the proposed project.
	Completed application and fee.
	One copy of the exterior elevations of the entire façades detailing the proposed work. Elevations should be drawn to scale and submitted on 11 x 17 paper and should include an inventory of materials to be used.
	Narrative explaining the proposed project and how the project meets the Plan of Treatment
	Survey of the property showing proposed changes. (See the City's survey policy for more information).
	Elevation drawings showing the percentage of exterior walls being removed with the proposed project.
	Electronic submittal of all submitted documents emailed to City Planner or submitted on a flash drive with the paper submittal.
	Depending on the scope of the proposed project, the City Planner may require additional information to be submitted prior to an application being deemed complete. This may include more detailed construction drawings.

***\* Design guidelines can be found in the Country Club District's Plan of Treatment \****

A complete application package must be received by 4:30 p.m. on the deadline date to be heard at the next Heritage Preservation Commission (HPC) meeting.

#### **PROCESS:**

##### **Prior to the Meeting**

Upon receipt of a complete application package, a notice will be mailed to property owners within 200 feet of the subject property advising them of the requested COA and inviting them



to view the plans at City Hall. The City Planner will also send the application to the City's preservation consultant for their review.

The Planning Department will post a staff report on the City's website as a part of the Heritage Preservation Commission meeting packet on the Friday before the HPC meeting.

### **Heritage Preservation Commission Meeting**

- The staff report with recommended action will be presented.
- The applicant will have an opportunity to elaborate on their project and address questions. (15-minute presentation maximum).
- Members of the public will have an opportunity to ask questions and/or comment on the project. (Time limit 3 mins per speaker).
- The HPC will ask questions, make comments and vote whether or not to approve the project.
- Plans submitted with the application should be considered final. Any changes to the plan presented at the meeting will delay the project.

There is a ten-day appeal period whereby a decision of the Commission may be appealed to the City Council. If approved, a formal COA will be issued after the ten-day appeal period. At that time the applicant may proceed with the building permit process. Any changes to the approved plan must come back to the Heritage Preservation Board for a new COA, and a new notice will be mailed to the recipients of the first meeting notice.

**Note:** The applicant (or a representative) must attend the HPC Meeting when the request for a COA is considered.





# HERITAGE PRESERVATION COMMISSION

## CERTIFICATE OF APPROPRIATENESS APPLICATION COUNTRY CLUB DISTRICT NEW HOME

### REQUIREMENTS & PROCESS

A Certificate of Appropriateness (“COA”) is required prior to granting a permit for demolition, moving a building and new construction within the Edina Country Club Historic District. The following summary is intended to illuminate the COA process and to reflect the minimum documentation required from applicants. Each case is specific; the Heritage Preservation HPC (“HPC”) may require further information and documentation from the applicant in addition to those items listed below prior to approval of a COA. Additional information regarding the COA application and review process may be obtained from Planning Department staff and the City website. Applicants should expect to work closely with the Assistant City Planner specializing in heritage preservation matters throughout the COA process.

**REQUIREMENTS:** All of the following items must be included with this application. An incomplete application will not be accepted.

	Meeting with City Planner prior to application to review the proposed project.
	Application fee (non-refundable) Make check payable to “City of Edina” <u>\$1,200.00</u> - Non-heritage resource properties <u>\$600.00</u> - Heritage Resource properties. (If not redesignated, process ends.) <u>\$600.00</u> - If redesignated to NON-heritage resource, process continues.
	Survey of the property showing proposed changes. (See the City’s survey policy for more information).
	Aerial photograph of the site or scaled drawing, with the location of all existing buildings, structures and other improvements, driveways, parking areas, sidewalks, landscape features and other defining physical features of the subject property and any neighboring structures within 50 feet of the property lines clearly identified.
	Landscape plan and schedule in accordance with Edina City Code Chapter 36, Article XII, Division 5, Sec. 36-1437, to include foundation plantings.
	Elevation drawings of all sides of the new buildings or additions and enlargements to existing buildings including a description of existing and proposed exterior building materials.



	Exterior scale front façade elevation of the proposed work and the immediately adjacent neighboring homes, accurately depicting the grade, roof and eave lines of neighboring structures in relation to the grade, roof and eave lines of the proposed work, driveway locations and the distances between the structures.
	Digital photographs of the existing structures on the property and neighboring properties, including: <ol style="list-style-type: none"> <li><u>1.</u> Front or main façade, as viewed from the public right of way.</li> <li><u>2.</u> Adjacent neighboring structures, photographed in such a way that shows the relationship of these structures to the structure in question, as viewed from the public right of way.</li> <li><u>3.</u> Adjacent neighboring structures, as viewed from the rear yard of the subject property.</li> </ol>
	Streetscape photographs depicting the existing home and the other properties on both sides of the street on the same block (for context).
	Building material sample board showing the materials that will be used on the building exterior, including the selection of colors.
	A narrative summarizing how the proposed home meets the requirements of the Country Club District Plan of Treatment.
	Depending on the scope of the proposed project, the City Planner may require additional information to be submitted prior to an application being deemed complete. This may include more detailed construction drawings.
	Electronic submittal of all submitted documents emailed to City Planner or submitted on a flash drive with the paper submittal.

**\*A complete application package must be received by 4:30 p.m. on the deadline date to be heard at the next Heritage Preservation Commission (HPC) meeting\***

**Design Review Guidelines:** The HPC’s review of the COA application will be based on the Design Review Guidelines detailed in the Plan of Treatment for the District, the Secretary of the Interior’s Standards for the Treatment of Historic Properties, the Comprehensive Heritage Preservation Plan, and the heritage landmark preservation study of the District. The general aim of the guidelines for new construction is to encourage visual compatibility of the project with the historic architectural significance and visual character of the district.

**PROCESS:**

Any building, site, structure or object that has been so designated by the Heritage Preservation Commission on the basis of its historic associations or historic architectural qualities which add to the significance of the District as a whole. In addition, any home constructed in the Country Club District from 1924 to 1944 is identified in the Plan of Treatment as Heritage Preservation Resources. An updated inventory of heritage preservation resources in the Country Club District is maintained by the Planning Department.



***No COA will be approved for the demolition, in whole or in part, of any heritage preservation resource in the District unless the applicant can show that the subject property a) is not a heritage preservation resource, OR b) no longer contributes to the historical significance of the District because its historic integrity has been compromised by deterioration, damage or by inappropriate additions or alterations.***

Prior to any review of a COA application for demolition or removal of a Heritage Preservation Resource, the HPC will accept evidence and documentation supporting an applicant's claim that a property is not a Heritage Preservation Resource at a regular monthly meeting; the applicant will be charged a \$600 fee. If the HPC determines the property is not a Heritage Preservation Resource, the applicant may then move forward with an application for a COA for the new construction.

**COA Application Review Meetings:** Because of the significant potential impact new construction can have on the historic character of the District, and to allow adequate time for public comment and review of the initial submitted plan and any subsequent revisions, **a COA application for demolition, removal and new home construction in the District requires at least two mandatory public meetings, held during the HPC's regular monthly meeting times at least one month apart.** (This does not include the meeting required to redesignate a heritage resource property to non-heritage resource.)

**First COA Review Meeting:** The HPC will consider a) plans and supporting materials presented by the applicant, b) staff report and recommendation, c) public comment. The HPC may request additional information from the applicant and staff at the second meeting and will clearly identify any concerns or conditions that must be met prior to the second public meeting or final approval.

During the meeting, the applicant or an appointed representative of the applicant will be asked to summarize the project, present building material samples, and answer questions. A representative for the applicant should be qualified to answer questions or the application may be delayed. The applications for demolition and new construction are reviewed by the HPC simultaneously. In some complicated cases, the HPC may decide that a site visit is required to fully consider the proposal. Site visits are made outside of the normal meeting time, at a time determined during the public meeting.

**Second COA Review Meeting:** Upon finding that a COA application meets the requirements and review standards, the HPC may grant approval of the COA at this meeting. All plans must be complete and in final form, including dimensions and selected building materials. Notification of the second meeting is not required if held within one month.



Once the application has been reviewed and questions have been answered, a vote will be taken. All motions and business of the HPC are carried by majority vote. The following actions may be taken:

- Approved as presented - grant the COA. Proceed with the building permit process after the 10-day appeal period has passed.
- Approved with modifications and/or conditions.
- Continuation or tabling of an application. In cases where insufficient information is provided, or if the applicant and the HPC agree to continue the case, the application process may be continued to a future named date, for which the applicant will provide a letter authorizing a continuation of the COA application. If both parties do not agree to the continuance, then the HPC must act by approving or denying the proposal.
- Denial of the application.

**Appeals:** Any party aggrieved by a decision of the HPC may appeal by filing a written appeal with the City Clerk no later than ten days after the decision of the HPC. If after ten days, no appeal is filed, the right of appeal shall be deemed waived and the decision of the HPC will be final. The City Council will hear and decide all appeals in the manner provided by City Code.

**\*Notification Requirements:**

- Notification that the HPC will consider a COA application for a potential demolition/new home will be mailed to property owners within a 300 foot perimeter of the subject property at least 10 days prior to the meeting.
- In situations where the chief building official overrides the authority of the HPC and where there are no changes to the building plans approved through the COA process; the HPC and surrounding property owners included in the initial COA mailing list will be notified prior to the commencement of the construction/demolition activity authorized by the chief building official. However, if the building plans approved through the COA process change, the COA must be brought back to the HPC to address the proposed changes.

**NOTE: ANY CHANGES TO THE PLANS APPROVED** for the Certificate of Appropriateness (COA) will require a new COA application and notification of the surrounding properties as required for the initial COA review. The changes from the approved plan must be specifically listed by the builder or architect in that application.





# HERITAGE PRESERVATION COMMISSION

## COUNTRY CLUB DISTRICT CERTIFICATE OF APPROPRIATENESS (COA)

### OPTIONAL SKETCH PLAN REVIEW (One sketch plan review per project is allowed)

Prior to filing a complete application (no application fee is required), an applicant may request to meet with the Heritage Preservation Commission (HPC) for an informal exchange when the HPC can review the basic concept of a proposed project and offer suggestions to a potential applicant. The purpose of this review is to provide assistance in resolving problems or meeting requirements if the potential applicant decides to proceed with the COA process. In this manner, the HPC may provide preliminary, non-binding guidance on the suitability of the project with a minimum burden of expense on a property owner. Such consultation shall bind neither the property owner nor the HPC, and statements made by HPC members shall not form a basis for invalidating any subsequent action taken. Materials presented for this discussion should include site plans, drawings, photographs or other sufficient information to allow for a meaningful understanding of the intended conceptual design. Sketch Plan Review does not require formal notice to neighboring properties but must take place only at regular (formal) meetings of the HPC and is subject to available time on the agenda.

**Note – An opinion of the Commission does not constitute an approval of the proposed project.**

For further information, or to schedule a meeting, contact Emily Bodeker, Assistant City Planner at 952-826-0462, or [EBodeker@EdinaMN.gov](mailto:EBodeker@EdinaMN.gov)





## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VI.D.

**To:** Heritage Preservation Commission

**Item Type:**

Other

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** Country Club ReSurvey

Discussion

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### **ACTION REQUESTED:**

Discuss resurvey memo from Consultant Vogel.

### **INTRODUCTION:**

See attached memo.

### **ATTACHMENTS:**

Country Club Resurvey Memo

1925 Deed Restrictions

National Register of Historic Places Nomination Form

Country Club Plan of Treatment

Inventory of COAs



## MEMORANDUM

**TO:** Heritage Preservation Commission  
**FROM:** Robert Vogel, Preservation Planning Consultant  
**DATE:** November 6, 2019  
**SUBJECT:** Resurvey of Country Club District – Plan of Treatment Evaluation

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### Background

The initial survey of the Country Club District was conducted in 1979 as part of a city-wide survey sponsored by the Edina Heritage Preservation Board or HPB (now the Heritage Preservation Commission). The Country Club neighborhood was identified as a potential historic district and in 1980 the city obtained a grant from the Minnesota Historical Society for the purpose of nominating it to the National Register of Historic Places. The National Register nomination form prepared by Lynne VanBrocklin Spaeth, an independent consultant, is dated October, 1980; however, the district was not officially listed in the National Register until April 26, 1982. The 1980 National Register survey documented 555 properties within the district boundaries, including the old Wooddale School (later demolished).

Although the HPB occasionally commented on home remodeling projects in the district, there was no comprehensive design review process until the city revised its heritage preservation ordinance in 2002-03. The Country Club District was designated an Edina Heritage Landmark District on February 18, 2003, at which time the city council approved the original district plan of treatment (POT). The heritage landmark overlay district boundaries were coextensive with those of the National Register historic district, encompassing 555 single-family residences, of which 507 were considered contributing resources. The HPB began reviewing demolition and new construction projects for Certificates of Appropriateness (COAs) in 2003. The district POT was later revised to include additional guidelines for new detached garages (adopted December 9, 2004) and new homes (adopted April 15, 2008).

At the time the Country Club District was established, the HPB began to plan for a re-survey of the district. Because of staff time and funding limitations, the survey was not carried out until 2007-08, when the city imposed a year-long, city-wide moratorium on tear-downs, and focused chiefly on documenting the changes in the appearance of the district since 1980. In addition to the revised POT, the 2007-08 survey refined and elaborated a district statement of significance, and identified a number of information gaps to be addressed by future surveys.

### Current Conditions

The Country Club District covers approximately 300 acres and is divided into two sections (Brown and Fairway), which together contain 534 single-family homes constructed between 1924 and 1977. The majority of existing homes were built before 1932 and 490 date from 1924-1944, the district's "period of significance" for preservation planning purposes (the developer stopped imposing deed restrictions on lots sold after July 1, 1944). Although over 90% of the homes in Country Club are classified as contributing heritage resources, none of the houses



within the district boundaries have been designated or determined eligible for designation as heritage landmarks. While existing heritage resource inventories do not distinguish between “contributing” and “non-contributing” properties, the district continues to represent a historically significant concentration of houses and streetscapes which physically comprise a specific environment with a distinctive identity of time and place. Historic integrity is very good and the physical characteristics that qualified the district for listing in the National Register in 1980 have been preserved intact. Only about 10% of the homes were constructed after 1945 and most of these are over fifty years old.

City records show that the adverse effects of tear-downs have been mitigated by the design standards imposed by the POT. Since 2003, a total of 13 COAs have been approved for demolition of existing homes in the district. Of these, less than half represented historic properties (i.e., homes built during the district’s period of significance), all of which were in deteriorated condition or had been substantially altered from their original appearance. The replacement homes are architecturally compatible and complement the historic character of adjacent historic homes.

Over 100 COAs have been issued for garages since 2003. The last original detached garage in the district was probably a functionally obsolete, one-stall structure at 4615 Wooddale that was demolished in 2008. Few, if any, of the existing multi-stall detached garages pre-date 1968 and it is unlikely that any of these structures meet the minimum design standards outlined in the POT. Although the COA program has not saved any historic garages, the POT requirement that new garages for historic properties must match the architecture of the houses has undoubtedly enhanced the overall character of the district. COAs for construction of new attached garages have also had a positive effect on the district as a whole by limiting the new garages to secondary elevations and making them architecturally complementary to the houses.

COAs have also been issued for partial demolition and exterior alterations that destroy or obscure significant façade features. In general, only projects involving changes to distinctive architectural features on the principal (street-facing) façade are subject to design review. The POT offers only general guidelines for this kind of work, but in practice the façade alterations covered by COAs have been compatible in size, scale, and material with the character of the houses.

A windshield inspection of the district carried out earlier this year found that almost every historic home in the district had been altered to some extent, with the great majority of alterations involving new attached garages, porches, and the addition of new living space on rear and side elevations. Very few of the primary facades of homes constructed during 1924-44 have been substantially altered from their as-built appearance. Although there has been a significant increase in building mass throughout the district since the 1970s, nearly all of the homes still meet the basic design standards imposed by the original Thorpe Bros. deed restrictions. Work that does not require a COA has resulted in a slow but steady erosion of historic character as a result of window and door replacement, roofing, HVAC installation, and small-scale home improvement projects and a great deal of historic fabric continues to be lost as a result of interior remodeling. Nevertheless, over 80% of the houses retain integrity of those exterior features necessary to convey their historic architectural values.



## Conclusions

1. The Country Club District POT, as revised, continues to be effective in controlling tear-downs in the district. Only those historic properties shown to be structurally deteriorated or substantially altered from their as-built appearance have been allowed to be demolished and the replacement homes meet the POT design standards for new construction. The POT has also helped to enhance the historic character of the district by requiring new garages to be visually compatible with the architecture of the historic homes.
2. Based on the 2019 resurvey, 488 houses in Country Club meet the minimum requirements for consideration as heritage preservation resources. A relatively small number of historic homes have been substantially altered from their as-built appearance and no longer qualify for protection—the HPC should consider issuing a list of these properties for public information purposes.
3. The 46 houses constructed after 1945 (including the 13 new homes built since 2002) have been evaluated as non-contributing and should not be treated as heritage preservation resources.
4. The preferred strategy for mitigating the effects of exterior remodeling projects is an increased emphasis on public education to foster voluntary compliance with “best practices” in heritage resource management. No major changes to the district POT are recommended.
5. The Country Club District is in an excellent state of preservation, especially in comparison with other, similarly sized residential historic districts. It clearly possesses the characteristics required for registration as an Edina Heritage Landmark District.



**Deed Restrictions for  
The Country Club District of Edina, Minnesota**  
From Book 1054 Deeds, page 560

Doc. No. 1324919 Filed Dec.15<sup>th</sup> 1925, at 12:45 o'clock P.M.

This Indenture, made this 15<sup>th</sup> day of April in the year of our Lord one thousand nine hundred and twenty five between Thorps Bros. (a corporation under the laws of the State of Minnesota) party of the first part, and P.W. Helwig party of the second part:

Witnesseth, that the said party of the first part, in consideration of the sum of Twenty One Hundred (\$2100.00) Dollars to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby grant, bargain, sell and convey unto the said party of the second part, his heirs and assigns, forever, all that tract or parcel of land lying and being in the County of Hennepin and State of Minnesota, described as follows, to-wit:

Lot thirteen (13), Block five (5), Country Club District, Fairway Section, according to the plat thereof on file and of record in the office of the Register of Deeds in and for the county and state.

This conveyance is made and accepted subject to such of the following restrictions, reservations and covenants as may by their terms be applicable to said premises, which restrictions are for the benefit of said premises and of said Section, and of every lot herein, and shall inure to and operate as equitable restrictions or easements passing with the conveyance of every lot, and shall apply to and bind every successor in interest of the parties hereto, and are imposed upon said premises as a servitude in favor of said Section, and every lot therein, and are as follows:



1. That for the purpose of construing and applying these restrictions a single lot shall mean a lot as now platted, or an owner or parts of two adjoining lots, the total width of which at the front lot line shall be not less than the front width lot line of either of the lots comprising a part of such ownership, or all of one lot and part or parts of one or more adjoining lots.

2. That all lots in said Section, except Lots nos. 1, 2 and 13, Block No.1, are hereby designated "residence lots" and shall not be improved, used or occupied for other than private one-family residence purpose; that there shall not be erected, placed or maintained on any of said lots any flats, duplexes, apartments, though intended for residence purposes, public garages, oil stations or any other buildings whatsoever except a detached dwelling house to be used exclusively as a residence for a single family (with out-buildings to be used exclusively for domestic purposes) of not less than 1 1/2 stories in height (meaning a building with at least two rooms on the second floor) with a cellar, nor of less cost than \$7,000, if erected on any lot facing Drexel Avenue: nor less than (\$6,500) if erected on Casco Avenue or any Lot in Block one (1) or any of the following lots, viz.: Nos, 9 to 20 inclusive in Block 14: nor less than \$6,000 if erected on any Lot facing Bruce Avenue or Arden Avenue, such costs to be for labor, material, architect's and engineer's fees.

3. That residences on inside lots shall face the front lot line and on corner lots shall face the same street as those on the adjoining inside lot.

4. That the front foundation of every residence, exclusive of porch, shall be placed at least 30 feet from the front line of each lot: that the side foundation shall not be nearer than 3 feet from the side lot line, nor nearer than 7 feet from any street or avenue



adjoining the side lot line. That no residence, with attached garages, attached greenhouses and porches, shall occupy to exceed 60% of the area of the lot, nor shall have a width greater than 80% of the width of the lot measured on lines normal to the axis of the lot passing through the house at all points.

That in case where the frontage of ground used with any residence is greater than the required frontage then, for the purpose of limiting the width of the residence and establishing its location with respect to the side lines of the lot, the frontage so used shall be deemed to be the required frontage and the provisions of this section shall be construed accordingly, and if any residence of the maximum width is built or maintained on any such lot, then thereafter the frontage so used may not be reduced on any such lot as long as said residence is maintained thereon, and the same provisions shall apply as to the location of any residence with respect to the side lines of the lot.

The front porches, balconies, porte cocheres and terraces shall not project beyond the main building more than 12 feet, and on corner lots beyond the side of the main building more than 10 feet, nor shall bay, oriel, bow, dormer or other projecting windows and stairway landings, cornices, spoutings, chimneys, pilasters, trellises and similar projections, project more than 18 inches from the front and side lines of the main building.

5. That all out-buildings shall correspond in style and architecture to the residence to which such buildings are appurtenant and on corner lots shall in addition be located wholly within 30 feet of that side of the lot farthest from the adjoining side street, and shall not combined, occupy more than 60% of the width of the lot measured along such rear lot line.



6. That the following prohibitions shall be observed;
  - (a) No tank for the storage of fuel shall be maintained above the surface of the ground.
  - (b) No sign greater than 480 square inches shall be place on any lot, except those of the vendor.
  - (c) No shedding poplars, box-elders or other objectionable trees or shrubbery shall be planted.
  - (d) No garage or other out-building shall be erected on any lot before the residence thereon is constructed.
  - (e) No drives shall be constructed from a street to the lot without a concrete ramp or ribbon drive from the street to the sidewalk level.
  - (f) No fence or wall shall be built to a greater height than 4 feet 6 inches from the grade adjacent to the wall or fence at all points, nor shall any wall greater than 3 feet in height be built within the front lot lines, nor shall any fence other than open spindle, picket, metal or slat be built.
  - (g) No residence at its front foundation shall have a finish grade of more than 3 feet 6 inches above the curb, at the front lot line, unless the natural grade of the lot is greater, in which case the natural grade may be the finish grade.
  - (h) No wall, steps, or other construction, except sidewalk, shall be placed or maintained forward of the front lot line, nor encroach on the boulevard.
  - (i) No garbage, ashes, refuse or refuse receptacles shall be placed or left on any lot so as to be exposed to view, or become a nuisance.



(j) No horses, cows, goats, sheep or any domestic animals, poultry or fowls of any kind, except dogs and cats, will be permitted to be kept on any of the lots, except a riding horse horses with the written consent of the vendor.

(k) No coal, except smokeless coal, nor fuel of any kind giving off black smoke, or strong or obnoxious odors, shall be used.

(l) No surface water from the roof of nay building, or from nay lot shall be connected with or drained in to the sanitary sewers.

7. That no residence, or other structure, shall, prior to July 1, 1944, be erected or maintained on any lot until the plans, specifications, elevation, location and grade thereof, with color scheme for said residence of structure, shall first have been presented to the vendor and by it approved in writing, but such approval shall not be arbitrarily withheld or delayed, it being the intention hereof that the vendor is to exercise said granting or withholding such approval for the purpose of maintaining a high class, restricted, residential district, free from objectionable or value destroying features in the Section of the Country Club district in which the premises are located to the end that each lot owner in such Section shall be protected against improvements of an inferior style, character or appearance, which will interfere with the beauty and harmony of a high class restricted, residential district, or tend to reduce the value thereof.

No change or alteration shall during said period, be made in the exterior design of any building, after the original construction thereof, until written approval thereof has been given by the vendor, nor shall any fences or walls be erected on said property without the written consent of the vendor.



When eighty percent (80%) of the lots in said section have been sold, the Vendor, at its option, may organize an Improvement Association composed entirely of lot owners in said section, and shall appoint a committee of four (4) owners in said section -- one for a term of one (1) year, one for a term of two (2) years and one for a term of three (3) years, who shall be known as active members; and a fourth member, who shall be known as an inactive member, who will automatically become an active member whenever a vacancy, from any cause whatsoever, shall occur among its three active members. When such fourth member becomes an active member, then the majority of the owners who are members of said Improvement Association may appoint a lot owner as the inactive member to fill the vacancy of such fourth member; but in the event of the failure of such members of the Improvement Association to make such an appointment within thirty (30) days after such vacancy occurs, then the remaining three members of such committee shall have the power to appoint an owner of a lot in said section to fill such vacancy. All appointments shall be made in writing and a record kept with said Association. The Majority of said committee shall have the same power as if they had been named by the Vendor herein. This committee shall have the right of approval or disapproval as in this paragraph provided, and when so organized and operative, the Vendor herein shall be relieved or released from any and all liability in connection with such duties.

8. No lot shall ever be sold, conveyed, leased or rented to any person other than of the white or Caucasian race, nor shall any lot ever been used or occupied by any person other than one of the white or Caucasian race, except such as may be serving as domestics for the owner or tenant of said lot, while said owner or tenant is residing thereon.



Provided, that the vendor shall have and does hereby reserve the right in the sale and conveyance of any of said lots, to change, alter and annul any of the provisions in the foregoing paragraphs or in any restrictions added hereto, except those in paragraphs numbered 2 and 8, and it may at any time thereafter, with the consent in writing of the then record owner of any lot or lots, change, alter or annul any such provisions as to such lot or lots, or which way, in such sale and conveyance, be established by it, such change to be effectual without the consent of the owners of any other lot or lots, but no change shall be made at any time in the provisions of paragraphs 2 and 8, nor in the other paragraphs which will permit the erection of maintenance of any residence nearer than 30 feet to the front lot line as above provided, nor nearer than 3 feet to either site line, nor shall the required frontage of land to be used and maintained with any residence be reduced more than 5 feet below the minimum number of feet required for each residence without the written consent of the vendor, or its successors, and the consent of 50% of the owners of the other lots in the same block fronting the same street, and of 50% of the owners of the other lots in the opposite block fronting the same street.

Provided, further, that all restrictions herein, except those in paragraph 8, shall terminate on January 1, A.D. 1964.

9. The purchaser covenants and agrees that until the first day of July, A.D. 1934, he will, on the 10<sup>th</sup> day of January of each year, pay to the vendor an assessment of one mill per square foot of the net area of said premises, to be used in connection with similar payments to be made by the owners of other lots in this District as a maintenance charge for the general upkeep and appearance of the Country Club District, but this assessment shall not be a charge on the premises. The vendor may pay or direct such



assessment to be paid to any association or Company that may be organized, to whose membership the owners of lots in this Section may be eligible, whose object shall be the enforcement of restrictions and the doing of the maintenance work aforesaid.

10. The said vendor hereby expressly reserves for itself, its successors or assigns, the full and free use of the streets, avenues and roads shown on the plot aforesaid for the purpose of laying, constructing, and maintaining over, under and along said streets, conduits for any and all purposes, water, sewer and gas mains, poles, wires and other general utilities, serving or to serve said Section, and for the purpose of repairing or replacing the same from time to time; also the right to enter upon said premises for the purpose of constructing, erecting and maintaining on and along the rear and side boundary lines of said lots, poles with necessary cross arms, wires and underground or surface conduits, gas and water pipes, and other general utilities necessary to transmit or furnish to said lots, or any other lots heretofore, now or hereafter owned by said vendor, electric current, telephone service, gas and water and also for the purpose of installing, inspecting, altering, repairing, or removing said conduits, pipes, poles or wire, together with the right to transfer or lease the whole or any portion of such easements and rights of way; also reserving a right of way for constructing and maintaining storm sewers, now or hereafter constructed for the purpose of draining the land embraced in said Section and adjoining tracts.

This conveyance is made in pursuance of a contract or sale of said premises made between the parties hereto under date of April 15, 1925 as of which date all the covenants herein shall take effect.



To Have And To Hold The Same, together with all the hereditaments and appurtenances thereunto belonging or in anywise appertaining, unto the said party of the second part, his heirs and assigns, forever, subject to the covenants, restrictions, reservations and conditions herein set forth and imposed on the grantee, his heirs and executors, administrators and assigns.

And the said Thorpe Bros., party of the first part, for itself and its successors, does covenant with the said party of the second part, his heirs and assigns, that it is well seized in fee of the land and premises aforesaid, and has good right to sell and convey the same in manner and form aforesaid, and that the same are free from all encumbrances and the above appraised and granted lands and premises in the quiet and peaceable possession of the said party of the second part, his heirs and assigns, against all persons lawfully claiming or to claim the whole or any part thereof, the said party of the first part will warrant and defend, except as above stated.

In Testimony Whereof, the said first party has caused these presents to be executed in its corporate name by its Vice President and its Ass't Secretary and its corporate seal to be hereunto affixed the day and year first above written.



Signed, sealed and delivered  
In presence of (Two dollars and )  
H.A. Paulsen (Fifty Cents in )  
Hellaine Nelson (Int. Rev. Doc. )  
(Stamps Canceled )

Thorpe Bros.  
By Alfred J. Dean Vice President  
By Rosa W. Tuckson Ass't. Secretary  
(Corporate Seal)

County of Hennepin )  
SS:  
State of Minnesota )

On this 11<sup>th</sup> day of May A.D. 1925, before me, a Notary Public within and for said County personally appeared Alfred J. Dean and Rosa W. Tuckson, to me personally known, who, being each by me duly sworn they did say that they are respectively the Vice President and the Ass't Secretary of Thorpe Bros., the corporation named in the foregoing instrument, and that the seal affixed to said instrument is the corporate seal of said corporation, and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors and said Alfred J. Dean and Rosa W. Tuckson acknowledged said instrument to be the free act and deed of said corporation.

Harry A. Paulsen Harry A. Paulsen  
Notary Public, Hennepin County, Minn.  
My Commission expires Feb. 7<sup>th</sup>, 1929.  
(Notarial Seal)



**United States Department of the Interior  
Heritage Conservation and Recreation Service**

**National Register of Historic Places  
Inventory—Nomination Form**

See instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

**1. Name**

historic Country Club District

and/or common Edina Country Club District

**2. Location**

*Roughly bounded by Minnehaha Creek, U.S. 169, W. 44th and  
58th Sts. and Arden Ave.*

street & number See accompanying map and verbal description N/A \_\_\_ not for publication

city, town Edina N/A vicinity of congressional district Fifth

state Minnesota code 22 county Hennepin code 053

**3. Classification**

Category	Ownership	Status	Present Use
<input checked="" type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	___ agriculture ___ museum
___ building(s)	<input checked="" type="checkbox"/> private	___ unoccupied	___ commercial ___ park
___ structure	___ both	___ work in progress	___ educational <input checked="" type="checkbox"/> private residence
___ site	<b>Public Acquisition</b>	<b>Accessible</b>	___ entertainment ___ religious
___ object	___ in process	<input checked="" type="checkbox"/> yes: restricted	___ government ___ scientific
	___ being considered	___ yes: unrestricted	___ industrial ___ transportation
	N/A	___ no	___ military ___ other:

**4. Owner of Property**

name Multiple: see accompanying ownership list

street & number N/A

city, town N/A N/A vicinity of state N/A

**5. Location of Legal Description**

courthouse, registry of deeds, etc. Register of Titles, Hennepin County Government Center

street & number 300 South Sixth Street

city, town Minneapolis state Minnesota

**6. Representation in Existing Surveys**

title Historic Building  
Survey

has this property been determined eligible? \_\_\_ yes  no

date July 1980 \_\_\_ federal \_\_\_ state \_\_\_ county  local

depository for survey records Edina City Hall, 4801 West 50th Street

city, town Edina state Minnesota



## 7. Description

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>	
<input checked="" type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input checked="" type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site	
<input type="checkbox"/> good	<input type="checkbox"/> ruins	<input type="checkbox"/> altered	<input type="checkbox"/> moved	date 1922 - present
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed			

### Describe the present and original (if known) physical appearance

The Country Club District, located in the heart of suburban Edina and six miles southwest of downtown Minneapolis, is a residential suburban development containing 553 residences and one school building. The district, which was first developed in 1922 into the Brown (west of Wooddale Avenue) and Fairway (east to Arden Avenue) sections, is bounded on the north by the Old Minneapolis and St. Paul Suburban Railway Company right-of-way (now the rear lot line of blocks 1-3, Brown Section); on the south roughly by West Fiftieth Street; on the east by the rear lot line of blocks 2 and 11, Fairway Section; and on the west by Minnehaha Creek and Normandale Road. The district contains thirteen contoured streets -- four run east-west, eight run north-south, and one, one-block semicircular street runs north-south. Four well-landscaped and maintained islands are located at intersections on Sunnyside and Country Club roads. A large park is located on Minnehaha Creek at the intersection of Browndale Avenue and Bridge Street.

In 1922 Thorpe Brothers Realty Company divided the 300 acre district into 585 homesites. The homesites range in size and configuration from small (typically 50 by 100 foot) rectangular shaped homesites on Arden Avenue, the eastern edge of the district, to large (typically 70-100 by 150 foot) contoured homesites along Browndale Avenue and Sunnyside Road, the western boundary of the district (located on Minnehaha Creek). Prior to selling homesites, Thorpe installed water, sewer, electricity (underground), gas, streets and sidewalks, and planted trees throughout the district. All building and planting in the district was restricted and supervised by a home builder's committee and later by a committee of the Country Club Association. Specific restrictions included minimum building valuations -- \$7,500 in the Brown Section and \$6,000 in the Fairway Section; all lots were reserved for single family homes; all building plans, including specifications, elevation, location, grade and color scheme were reviewed by the committees; all out-buildings were required to correspond in style to the adjoining residence; fuel storage tanks and garbage receptacles could not be visible; no sign greater than 480 square inches could be placed on a lot; and no shedding poplars, box-elders or other "objectionable" trees or shrubbery could be planted.

(See continuation sheet)  
pages 1-16



# 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input checked="" type="checkbox"/> community planning	<input checked="" type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
1922 - present		<input type="checkbox"/> invention		
<b>Specific dates</b>	1922 - present	<b>Builder/Architect</b>	Multiple	

**Statement of Significance (in one paragraph)**

The Country Club District, a well-planned suburban residential development dating from 1922, is significant as one of Minnesota's first restricted, comprehensive residential planning efforts, which became the prototype for Edina's subsequent residential developments; as a large homogeneous neighborhood of historic revival architecture; and as the home of a large number of the Twin Cities' leaders in business, industry, communications, and civic affairs.

Planning for the Country Club District into a comprehensively developed residential community was begun by Samuel S. Thorpe and Thorpe Brothers Realty Company in 1922. In that year, the Brown and Browndale farms, as well as part of the Baird homestead, were purchased for the development. Between 1922 and 1924, Thorpe spent over one million dollars in platting the 300 acres into 585 homesites; planting and landscaping; installing and paving sidewalks and streets; installing water, gas, underground electrical wiring and sewers; and developing an eighteen-hole golf course and club house.

Many of the principles of "modern town planning," applied to post-World War I developments such as the Olmstead Brothers' Palso Verdes Project near Los Angeles, Mariemont near Cincinnati, Roland Park near Baltimore, and the Country Club Districts near Charlottesville, Birmingham and Kansas City, were incorporated into the design of Thorpe's development. In many respects, Thorpe's development was modeled after J.C. Nichols' Country Club District in Kansas City -- a landscaped development with curved streets, large contoured homesites, parks, and an eighteen-hole golf course. Thorpe borrowed the central theme represented in Nichols' development -- a planned residential area, with streets paved and utilities installed before lots were sold; with detailed deed restrictions; control over the value and architecture of houses; and a neighborhood association under the developer's sponsorship to build community activities and work closely with the local government.

(See continuation sheet)  
pages 17 & 18



# 9. Major Bibliographical References

See accompanying bibliography  
pages 19-22

# 10. Geographical Data

ACREAGE NOT VERIFIED

Acreege of nominated property approximately 300 acres

Quadrangle name Minneapolis South, Minn

Quadrangle scale 1:24,000

UMT References

UTM NOT VERIFIED

A 

1	5	4	7	3	6	4	0	4	9	7	3	8	7	0
Zone		Easting				Northing								

B 

1	5	4	7	3	6	4	0	4	9	7	3	0	8	1	0
Zone		Easting				Northing									

C 

1	5	4	7	3	0	0	0	4	9	7	3	0	8	1	0
Zone		Easting				Northing									

D 

1	5	4	7	2	4	1	0	4	9	7	3	5	0	1	0
Zone		Easting				Northing									

E 

1	5	4	7	2	4	1	0	4	9	7	3	6	1	6	0
Zone		Easting				Northing									

F 

1	5	4	7	3	2	1	0	4	9	7	3	8	7	1	0
Zone		Easting				Northing									

G 

Zone		Easting				Northing									

H 

Zone		Easting				Northing									

### Verbal boundary description and justification

The boundary of the Country Club District is shown as the red line on the accompanying map entitled "Country Club District, Edina, Minnesota." See also continuation sheet page 23.

### List all states and counties for properties overlapping state or county boundaries

state N/A code N/A county N/A code N/A

state N/A code N/A county N/A code N/A

# 11. Form Prepared By

name/title Lynne VanBrocklin Spaeth, President

organization Heritage Preservation Associates, Inc date October, 1980

street & number 1033 Grand Avenue telephone (612) 291-7431 or 7430

city or town St. Paul state Minnesota

# 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national  state  local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the Heritage Conservation and Recreation Service.

State Historic Preservation Officer signature

Russell W. Fridley

title State Historic Preservation Officer

date 3/3/82

For HCRS use only

I hereby certify that this property is included in the National Register

William A. Abraham date 4.26.82

Keeper of the National Register

Attest Sunda McClelland date 4/22/82

Chief of Registration



## Physical Description - Continued

As a result of the strict adherence to these restrictions, Thorpe's idealized community of "the exclusive and select"--a community where you can be proud to live, proud of your home . . . and of your neighbor's home as well"--became a reality. The well-planned residential development envisioned by Thorpe, designed to be in close proximity to shopping, schools (in 1925 Thorpe donated part of Lot 16, Brown Section for construction of the Wooddale School), churches and a country club (an 18-hole golf course and club house were developed by Thorpe south of the district), is a district of well-designed and constructed homes, all but a few in an excellent state of preservation; well landscaped and maintained yards; no above ground electrical wiring; no obtrusive signage; contoured streets; and parks and intersection islands.

The majority of buildings in the district are two stories in height, set back twenty feet from sidewalks, built in proportion to adjacent buildings (the houses east of Wooddale Avenue are smaller in scale than those built to the west), and exhibit a minimum of alterations (additions and alterations have generally been limited to the rear facades of buildings).

The 554 buildings in the district, the majority constructed between 1924 and 1931, represent a significant concentration of historic revival architectural styles. In 1925, Thorpe Brothers Realty Company commissioned the Minneapolis architectural firm of Liebenberg and Kaplan to design model homes on Edina Boulevard and Moorland Avenue. The houses were designed in a variety of historic revival styles, including English Tudor, French Provincial and American Colonial. To a considerable degree, these houses set an architectural standard for later construction in the district.<sup>2</sup> Historic revival styles, including American Colonial (158), American Georgian (6), Cape Cod Colonial (6), Dutch Colonial (4), English Cottage (180), English Georgian (3), English Tudor (20), French Provincial (11), Italian Renaissance (17), Mediterranean (67), New England Colonial (38), Norman (25), and Southern Colonial (1) inspired the design of 97% of the buildings in the district. The most popular designs are English Cottage (32%), American Colonial (29%), and Mediterranean (12%). The majority of buildings were designed and constructed by contractors. Following are descriptions of the most popular styles represented in the district.

The American Colonial Revival style, popular throughout the district from 1924 through the 1950s, is typified by a height of two stories; a second story overhang, usually with drops or pendants; strictly symmetrical facades; gabled roofs; a chimney at one or both ends; narrow clapboard siding; double hung windows, usually with shutters; and doors with classical trim.



The English Cottage style, popular throughout the district from 1924 to 1931, is characterized by a height of two stories; use of stone, brick or stucco as the principal construction material; steep triangular gables projecting above a gable or hip roof, and usually not continuous with the plane of the wall; extensive use of decorative brick or stone around semicircular door and garden gate openings, on the foundation and front steps; impressive chimneys, usually decorated with brick or stone, frequently the chimney is placed on the front facade; and use of "mock" half timbering.

The Mediterranean (Spanish Colonial Revival) style was popular in the design of houses throughout the district from 1924 to 1930. The Wooddale School on West 50th Street exhibits Mediterranean style features. Mediterranean style residences in the district are characteristically two stories in height; have white or cream colored smooth stucco walls; low hip roofs, usually with red or green barrel tile; contain wrought iron grilles as decoration, such as window boxes, mock balconets and railings; and contain semicircular openings, mock arcades and recessed panels.

Twenty houses on Casco, Drexel, Wooddale and Moorland Avenues and on Edina Boulevard were designed in the English Tudor style from 1925 to 1936. The style, closely related to the English Cottage style, is characterized by a height of two stories; extensive use of half timbering with stucco or brick; multiple triangular gables projecting above the roof; impressive chimneys, usually decorated with brick and stone, and containing projecting chimney pots; doorways with the "Tudor arch", a distinctive, very wide, almost flat, but pointed arch; oriel windows, often with tracery or diamond shaped panes; sharply pitched roofs; and projecting bays.

The New England Colonial Revival style\* used in the design of thirty-eight buildings throughout the district from 1924 to 1950, is characterized by a height of two to two-and-one-half stories; gable roofs, usually with dormers; strictly symmetrical facades; double hung windows with shutters; side sing or wings; cornice with dentils; chimney at each gable end; centrally located door with classical trim; and use of brick as the principal construction material.

Seventeen houses in the district were constructed from 1924 to 1927 in the Italian Renaissance Revival style on Arden, Bruce, Casco, Drexel, Wooddale, and Browndale Avenues. Italian Renaissance Revival style features used in the design of these houses include a height of two stories; rectangular or square plans; vertically symmetrical door and window openings; smooth stucco walls; low hip roofs, often composed of barrel tile; use of semicircular arches, lintels and recessed panels; projecting cornices; placement of second story windows close to the cornice; and centered doorways with classical trim.

\*Also referred to as Georgian.



The French Provincial style was used in the design of eleven houses from 1926 to 1941 on Bruce, Drexel, Moorland and Wooddale Avenues, Edina Boulevard and Sunnyside Road. These houses contain the following French Provincial design characteristics: a height of two stories; deep hip roofs; segmentally arched windows, dormers and doors; vertically symmetrical placement of windows, dormers and doors, often decorated with shutters; brick or stucco as the principal construction materials; and corner quoins.

The Norman Revival style was used in the design of twenty-five houses on Browndale, Moorland, Casco, Drexel and Wooddale Avenues, Edina Boulevard, Edgebrook Place and Sunnyside Road. Characteristics of this style include a height of two stories; combination of hip and gable roofs; multiple triangular gables projecting above the roof; impressive chimneys with decorative brick or stone, and capped with chimney pots; extensive use of half timbering; main entrance located in a round tower capped with a conical roof; extensive use of decorative patterned brick or decorative stone.

The district contains 199 buildings (36%) that are categorized as pivotal--buildings of historical and/or architectural importance that define the significance of the district. 351 buildings (63%) are considered complementary to the district. Four buildings, all built in contemporary styles in the 1970s, are categorized as intrusive to the significance of the district. Following is a breakdown of categories within the district with corresponding dates of construction and architectural style designations.

Arden Avenue

Pivotal

- 4510: 1925; English Cottage.  
 4514: 1926; English Cottage.  
 4520: 1926; English Cottage.  
 4600: 1926; English Cottage.  
 4612: 1933; American Colonial Revival.  
 4616: 1928; English Cottage.  
 4620: 1929; English Cottage.  
 4622: 1927; English Cottage.  
 4626: 1927; Mediterranean.  
 4628: 1927; English Cottage.  
 4632: 1938; English Cottage.  
 4900: 1926; Italian Renaissance Revival with Mediterranean influence.  
 4517: 1929; English Cottage.  
 4531: 1935; Mediterranean.  
 4601: 1927; American Colonial Revival with English Georgian Revival influence.  
 4617: 1930; English Cottage.  
 4629: 1935; Mediterranean.  
 4909: 1927; American Colonial Revival.  
 4911: 1938; English Georgian Revival with French Provincial influence.



## Complementary

- 4500: 1936; English Cottage.  
4502: 1925; Mediterranean.  
4504: 1926; English Cottage.  
4506: 1926; Italian Renaissance Revival.  
4508: 1927; American Colonial Revival with Italian Renaissance Revival influence.  
4512: 1925; Italian Renaissance Revival.  
4518: 1925; American Colonial Revival with American Georgian Revival influence.  
4522: 1930; English Cottage.  
4524: 1966; American Colonial Revival.  
4526: 1950; American Colonial Revival.  
4528: 1936; American Colonial Revival with American Georgian Revival influence.  
4530: 1941; American Colonial Revival.  
4602: 1929; Mediterranean.  
4604: 1925; Italian Renaissance Revival.  
4606: 1928; English Cottage with English Tudor influence.  
4608: 1928; American Colonial Revival with American Georgian Revival influence.  
4610: 1940; American Colonial Revival.  
4614: 1935; American Colonial Revival with American Georgian Revival influence.  
4616: 1925; English Cottage.  
4618: 1930; American Colonial Revival with American Georgian Revival influence.  
4624: 1928; English Cottage.  
4630: 1937; Italian Renaissance Revival.  
4904: 1945; Rambler.  
4906: 1948; American Colonial Revival.  
4908: 1927; Italian Renaissance Revival.  
4910: 1925; English Cottage.  
4912: 1938; English Cottage.  
4914: 1938; American Colonial Revival.  
4916: 1926; English Cottage.  
4920: 1940; American Colonial Revival with Cape Cod Colonial Revival influence.  
4501: 1927; English Cottage with Norman influence.  
4503: 1926; Mediterranean.  
4505: 1926; English Cottage.  
4507: 1926; Mediterranean.  
4509: 1926; Mediterranean.  
4511: 1938; English Cottage.  
4513: 1925; American Colonial Revival.  
4515: 1931; English Cottage.  
4519: 1942; American Colonial Revival.  
4521: 1926; English Cottage.  
4523: 1924; English Cottage.  
4525: 1931; English Tudor.  
4527: 1936; American Colonial Revival.  
4529: 1957; American Colonial Revival.  
4603: 1936; English Cottage.  
4605: 1927; English Cottage.  
4607: 1940; American Colonial Revival.



- 4609: 1940; American Colonial Revival.
- 4611: 1938; American Colonial Revival.
- 4615: 1935; New England Colonial Revival with American Georgian Revival influence.
- 4619: 1945; American Colonial Revival with American Georgian Revival influence.
- 4621: 1927; Cubiform.
- 4623: 1925; American Colonial Revival with Italian Renaissance Revival influence.
- 4625: 1925; Dutch Colonial Revival.
- 4627: 1930; Mediterranean.
- 4631: 1928; English Cottage with Norman influence.
- 4633: 1938; American Colonial Cottage.
- 4637: 1927; American Colonial Revival.
- 4901: 1925; English Cottage with Mediterranean influence.
- 4903: 1926; Prairie.
- 4905: 1929; English Cottage.
- 4907: 1925; Mediterranean.
- 4915: 1938; American Colonial Revival.
- 4917: 1938; American Colonial Revival with American Georgian Revival influence.
- 4919: 1940; Cape Cod Colonial Revival.

## Bruce Avenue

## Pivotal

- 4512: 1938; American Colonial Revival.
- 4522: 1927; English Cottage with English Tudor influence.
- 4526: 1927; French Provincial with Norman influence.
- 4620: 1927; English Cottage with Norman influence.
- 4902: 1936; American Colonial Revival.
- 4521: 1936; American Colonial Revival.
- 4529: 1935; American Colonial Revival.
- 4617: 1926; English Cottage with Norman influence.
- 4623: 1927; English Cottage.
- 4627: 1927; English Cottage.

## Complementary

- 4500: 1940; English Cottage.
- 4502: 1926; English Cottage.
- 4504: 1950; American Colonial Revival with American Georgian Revival influence.
- 4506: 1938; New England Colonial Revival.
- 4508: 1938; English Cottage.
- 4510: 1925; English Cottage.
- 4514: 1940; Cape Cod Colonial Revival.
- 4516: 1925; Italian Renaissance Revival.
- 4518: 1932; American Colonial Revival.
- 4520: 1925; English Cottage.
- 4530: 1928; English Cottage.
- 4600: 1929; English Cottage.
- 4604: 1927; Mediterranean with Italian Renaissance Revival influence.
- 4606: 1925; English Cottage.
- 4610: 1941; American Colonial Revival.



- 4612: 1925; Italian Renaissance Revival.  
4614: 1930; English Cottage with American Colonial Revival influence.  
4616: 1926; American Colonial Revival with Mediterranean influence.  
4618: 1927; English Cottage.  
4622: 1929; English Cottage.  
4624: 1937; American Colonial Revival.  
4626: 1937; American Colonial Revival.  
4628: 1928; English Cottage with Norman influence.  
4630: 1926; American Colonial Revival with Italian Renaissance Revival influence.  
4632: 1928; Mediterranean.  
4634: 1934; New England Colonial Revival.  
4900: 1938; New England Colonial Revival with Federal Revival influence.  
4904: 1933; English Cottage with Norman influence.  
4906: 1928; English Cottage.  
4908: 1928; English Cottage with Mediterranean influence.  
4910: 1937; American Colonial Revival.  
4914: 1928; Mediterranean with Italian Renaissance Revival influence.  
4501: 1927; English Cottage with Norman influence.  
4503: 1929; Mediterranean with English Tudor influence.  
4505: 1930; Mediterranean.  
4507: 1930; Mediterranean.  
4509: 1927; American Colonial Revival.  
4511: 1924; Italian Renaissance Revival.  
4513: 1925; Dutch Colonial Revival.  
4515: 1924; Italian Renaissance Revival with Prairie influence.  
4517: 1941; American Colonial Revival with Federal Revival influence.  
4519: 1927; Italian Renaissance Revival.  
4523: 1924; American Colonial Revival.  
4525: 1926; English Cottage.  
4527: 1930; Mediterranean.  
4629: 1935; English Cottage with Norman influence.  
4531: 1934; American Colonial Revival with American Georgian Revival influence.  
4601: 1927; English Cottage.  
4603: 1928; English Cottage.  
4605: 1926; American Colonial Revival.  
4607: 1929; American Colonial Revival.  
4609: 1932; American Colonial Revival.  
4611: 1941; American Colonial Revival.  
4613: 1924; Bungalow.  
4615: 1930; American Colonial Revival.  
4619: 1930; English Cottage.  
4621: 1927; Mediterranean.  
4625: 1926; Dutch Colonial Revival.  
4631: 1925; English Cottage.  
4633: 1936; Cape Cod Colonial Revival.  
4901: 1934; American Colonial Revival.  
4903: 1935; English Cottage.  
4907: 1937; American Colonial Revival.  
4909: 1927; Mediterranean.  
4911: 1937; American Colonial Revival.



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- 4913: 1937; English Cottage.
- 4919: 1940; American Colonial Revival.

Intrusive

- 4524: 1973; Contemporary.
- 4602: 1972; Contemporary.
- 4608: 1974; Contemporary.

Casco Avenue

Pivotal

- 4510: 1930; English Cottage.
- 4602: 1925; English Cottage with Norman influence.
- 4612: 1934; Mediterranean.
- 4616: 1932; English Cottage.
- 4618: 1935; American Colonial Revival.
- 4622: 1927; English Cottage.
- 4624: 1927; English Cottage with Norman influence.
- 4626: 1929; English Cottage with Norman influence.
- 4636: 1936; American Colonial Revival.
- 4501: 1926; English Cottage.
- 4503: 1926; Mediterranean.
- 4601: 1935; American Georgian Revival.
- 4605: 1936; English Tudor.
- 4613: 1930; English Cottage with English Tudor and Norman influence.
- 4617: 1926; English Cottage with English Tudor influence.
- 4627: 1936; American Georgian Revival with Federal Revival influence.
- 4635: 1936; Norman.

Complementary

- 4500: 1925; English Georgian Revival with American Colonial Revival influence.
- 4504: 1941; American Colonial Revival with American Georgian Revival influence.
- 4506: 1925; English Cottage.
- 4508: 1927; English Cottage.
- 4512: 1938; American Colonial Revival.
- 4514: 1929; American Colonial Revival with American Georgian Revival influence.
- 4516: 1928; Mediterranean.
- 4518: 1928; English Cottage with Norman influence.
- 4520: 1925; Italian Renaissance Revival.
- 4522: 1925; Mediterranean.
- 4524: 1934; Mediterranean.
- 4526: 1936; Norman with American Georgian influence.
- 4528: 1926; English Tudor.
- 4530: 1938; American Colonial Revival.
- 4532: 1926; New England Colonial with American Georgian Revival influence.
- 4600: 1942; American Colonial.
- 4604: 1941; American Colonial Revival.



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- 4606: 1928; Mediterranean.
- 4610: 1925; Dutch Colonial Revival.
- 4614: 1951; American Colonial Revival.
- 4620: 1925; Mediterranean.
- 4628: 1928; English Cottage.
- 4630: 1929; Mediterranean.
- 4632: 1928; English Cottage.
- 4634: 1929; English Cottage.
- 4638: 1927; English Cottage.
- 4505: 1925; Mediterranean.
- 4507: 1929; English Cottage.
- 4509: 1935; American Colonial Revival.
- 4511: 1936; American Colonial Revival.
- 4513: 1934; New England Colonial Revival with American Colonial Revival and American Georgian Colonial Revival influence.
- 4515: 1950; American Colonial Revival with Federal Revival influence.
- 4517: 1929; Mediterranean.
- 4519: 1928; English Cottage.
- 4521: 1926; Italian Renaissance Revival.
- 4523: 1927; English Cottage.
- 4525: 1936; American Colonial Revival.
- 4527: 1935; English Cottage.
- 4529: 1925; American Colonial Revival.
- 4531: 1941; American Colonial Revival.
- 4603: 1941; American Colonial Revival with Federal Revival influence.
- 4607: 1932; American Colonial Revival.
- 4609: 1934; English Cottage.
- 4611: 1950; American Colonial Revival with Federal Revival influence.
- 4615: 1936; American Colonial Revival.
- 4619: 1930; Mediterranean.
- 4621: 1927; American Colonial Revival.
- 4623: 1928; English Cottage.
- 4625: 1927; English Cottage.
- 4629: 1928; English Cottage.
- 4631: 1936; New England Colonial Revival with American Colonial Revival influence.
- 4633: 1931; American Colonial Revival.
- 4637: 1928; English Tudor.

## Intrusive

- 4608: 1977; Contemporary.

## Drexel Avenue

## Pivotal

- 4508: 1925; English Cottage with Norman influence.
- 4510: 1927; Mediterranean.
- 4518: 1924; Mediterranean.
- 4522: 1925; English Cottage with Norman influence.
- 4608: 1931; Norman with English Cottage influence.



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- 4610: 1936; English Cottage with Norman influence.
- 4612: 1934; New England Colonial Revival with Georgian Revival influence.
- 4618: 1930; English Cottage.
- 4624: 1933; American Colonial Revival.
- 4505: 1930; English Tudor with Norman influence.
- 4513: 1924; English Cottage.
- 4517: 1930; English Cottage.
- 4525: 1925; English Cottage.
- 4601: 1925; English Cottage with Norman influence.
- 4609: 1936; American Colonial Revival.
- 4615: 1938; French Provincial.
- 4619: 1929; English Cottage with Norman influence.
- 4623: 1930; English Cottage with English Tudor influence.
- 4625: 1930; English Cottage with Norman influence.
- 4629: 1934; English Cottage with Norman influence.

## Complementary

- 4500: 1937; American Colonial Revival.
- 4502: 1927; New England Colonial Revival.
- 4504: 1936; Mediterranean with Norman influence.
- 4506: 1932; English Cottage with Norman influence.
- 4512: 1925; Mediterranean.
- 4514: 1924; Italian Renaissance Revival.
- 4516: 1925; Mediterranean.
- 4520: 1940; English Cottage.
- 4524: 1925; American Colonial Revival.
- 4526: 1935; English Cottage with Norman influence.
- 4600: 1931; New England Colonial Revival.
- 4602: 1935; English Cottage with Norman influence.
- 4604: 1927; American Colonial Revival.
- 4606: 1926; Mediterranean.
- 4614: 1941; New England Colonial Revival.
- 4616: 1941; American Georgian Revival.
- 4620: 1925; English Cottage.
- 4622: 1941; American Colonial Revival with Georgian Revival influence.
- 4626: 1930; Mediterranean.
- 4630: 1924; Mediterranean.
- 4501: 1936; American Colonial Revival.
- 4503: 1942; American Colonial Revival.
- 4507: 1925; English Cottage with American Colonial Revival influence.
- 4509: 1931; English Cottage.
- 4511: 1935; English Cottage.
- 4515: 1925; New England Colonial Revival.
- 4519: 1924; American Georgian Revival.
- 4521: 1924; New England Colonial Revival.
- 4523: 1934; English Cottage with Norman influence.
- 4527: 1931; New England Colonial Revival.
- 4603: 1925; American Colonial Revival.
- 4605: 1937; American Colonial Revival.
- 4607: 1925; English Tudor.
- 4611: 1926; English Cottage.
- 4613: 1925; English Cottage.



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- 4717: 1926; American Colonial Revival.
- 4621: 1930; Mediterranean with French Provincial influence.
- 4627: 1932; English Cottage.
- 4633: 1931; English Cottage.

## Wooddale Avenue

## Pivotal

- 4500: 1930; Mediterranean.
- 4506: 1934; Norman with English Tudor influence.
- 4508: 1924; English Cottage.
- 4510: 1930; English Cottage.
- 4514: 1935; English Cottage.
- 4516: 1932; American Colonial Revival with New England Colonial Revival influence.
- 4602: 1937; Norman.
- 4612: 1936; New England Colonial Revival.
- 4501: 1936; Norman with English Tudor influence.
- 4503: 1925; English Cottage.
- 4509: 1930; American Colonial Revival.
- 4513: 1927; Italian Renaissance Revival.
- 4523: 1934; Norman with English Tudor influence.
- 4601: 1927; Mediterranean.
- 4609: 1933; English Cottage with Norman influence.
- 4611: 1925; English Tudor.
- 4619: 1936; Norman with French Provincial influence.
- 4621: 1928; Pueblo.
- 4625: 1925; Mediterranean.

## Complementary

- 4502: 1924; Mediterranean with American Georgian Revival influence.
- 4504: 1927; English Cottage.
- 4512: 1924; New England Colonial Revival.
- 4518: 1925; English Cottage.
- 4600: 1936; American Colonial Revival.
- 4604: 1924; Prairie with Craftsman influence.
- 4606: 1941; American Colonial Revival.
- 4608: 1926; Italian Renaissance Revival.
- 4610: 1940; Norman.
- 4614: 1972; French Provincial.
- 4616: 1937; New England Colonial Revival with Greek Revival influence.
- 4624: 1937; American Colonial Revival.
- 4505: 1925; English Cottage.
- 4507: 1925; New England Colonial Revival.
- 4511: 1925; American Colonial Revival.
- 4515: 1925; English Cottage.
- 4517: 1925; English Cottage.
- 4519: 1946; Cape Cod Colonial Revival.
- 4603: 1930; English Cottage.
- 4605: 1924; American Colonial Revival.
- 4607: 1930; American Colonial Revival.



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- 4613: 1935; English Cottage.
- 4615: 1930; American Colonial Revival.
- 4617: 1936; American Colonial Revival.
- 4521: 1937; Norman with French Provincial influence.
- 4623: 1936; American Colonial Revival.

## Edina Boulevard

## Pivotal

- 4500: 1925; Mediterranean.
- 4502: 1935; English Tudor.
- 4505: 1935; American Colonial Revival.
- 4508: 1930; English Cottage.
- 4510: 1930; English Tudor.
- 4512: 1930; Mediterranean.
- 4514: 1935; New England Colonial Revival with American Georgian Revival influence.
- 4516: 1924; New England Colonial Revival with American Georgian Revival influence.
- 4600: 1926; English Cottage with Norman influence.
- 4602: 1931; English Cottage with Norman influence.
- 4604: 1934; New England Colonial Revival.
- 4606: 1935; English Tudor.
- 4608: 1926; English Cottage with Norman influence.
- 4610: 1936; Norman with English Cottage influence.
- 4614: 1926; French Provincial.
- 4501: 1935; French Provincial with Norman influence.
- 4505: 1935; New England Colonial Revival.
- 4507: 1935; Norman.
- 4509: 1935; New England Colonial Revival.
- 4511: 1936; English Cottage.
- 4513: 1934; Norman.
- 4517: 1931; English Tudor.
- 4519: 1931; English Cottage.
- 4601: 1931; Norman with English Cottage influence.
- 4605: 1926; Mediterranean.
- 4607: 1931; New England Colonial Revival.
- 4609: 1931; English Cottage.
- 4611: 1930; American Georgian Revival.
- 4613: 1926; New England Colonial Revival.
- 4615: 1928; French Provincial with Norman influence.
- 4619: 1928; Mediterranean.

## Complementary

- 4506: 1924; American Colonial Revival with English Cottage influence.
- 4612: 1950; American Colonial Revival.
- 4503: 1938; English Cottage with Norman influence.
- 4515: 1929; English Cottage.
- 4603: 1932; Norman.
- 4617: 1939; Cape Cod Colonial Revival.
- 4621: 1937; American Colonial Revival.



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## Moorland Avenue

## Pivotal

- 4500: 1936; English Tudor with Norman influence.
- 4502: 1934; English Cottage with Norman influence.
- 4504: 1929; English Cottage.
- 4506: 1930; English Cottage.
- 4512: 1933; English Cottage with Norman influence.
- 4514: 1935; New England Colonial Revival.
- 4516: 1936; Norman with English Cottage influence.
- 4602: 1929; English Cottage.
- 4604: 1930; Mediterranean with English Tudor influence.
- 4606: 1927; American Colonial Revival with English Georgian Revival influence.
- 4608: 1931; English Cottage with Norman influence.
- 4610: 1930; English Tudor with Norman influence.
- 4612: 1926; French Provincial.
- 4614: 1935; English Tudor with Norman influence.
- 4616: 1936; Southern Colonial Revival.
- 4618: 1936; French Provincial.
- 4620: 1934; English Cottage.
- 4622: 1934; Norman.
- 4507: 1928; English Cottage with Norman influence.
- 4509: 1929; Mediterranean.
- 4511: 1931; English Tudor with Norman influence.
- 4513: 1929; English Tudor.
- 4515: 1931; English Cottage with Norman influence.
- 4601: 1925; New England Colonial Revival.
- 4603: 1929; English Cottage.
- 4605: 1930; English Cottage.
- 4607: 1930; Norman with English Tudor influence.
- 4611: 1934; Norman with English Cottage influence.
- 4617: 1926; English Tudor.

## Complementary

- 4508: 1929; English Tudor with Mediterranean influence.
- 4510: 1924; American Colonial Revival with Mediterranean influence.
- 4600: 1951; American Colonial Revival.
- 4501: 1929; English Cottage.
- 4503: 1925; Mediterranean.
- 4505: 1927; English Cottage.
- 4517: 1925; English Cottage.
- 4609: 1930; Mediterranean.
- 4615: 1940; American Colonial Revival.
- 4619: 1936; Mediterranean.

## Browndale Avenue

## Pivotal

- 4400: 1935; English Cottage.
- 4402: 1927; Mediterranean.
- 4500: 1936; New England Colonial Revival with American Georgian Revival influence.



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- 4502: 1930; Mediterranean.  
4504: 1924; American Colonial Revival with American Georgian Revival influence.  
4520: 1936; American Colonial Revival with American Georgian Revival influence.  
4600: 1925; English Cottage with Norman influence.  
4602: 1930; English Cottage.  
4604: 1925; Mediterranean.  
4610: 1933; English Tudor with Norman influence.  
4616: 1928; English Cottage.  
4628: 1927; Mediterranean with English Cottage influence.  
4632: 1925; English Cottage with Norman influence.  
4503: 1930; English Cottage with English Tudor influence.  
4507: 1924; Italian Renaissance Revival with Mediterranean influence.  
4509: 1930; Norman.  
4513: 1930; English Cottage with Norman influence.  
4515: 1935; New England Colonial Revival.  
4601: 1925; Mediterranean.  
4603: 1935; New England Colonial Revival.  
4607: 1927; English Cottage.  
4609: 1937; New England Colonial Revival.  
4611: 1937; English Tudor with Norman influence.  
4615: 1925; English Cottage.  
4623: 1927; Mediterranean.  
4625: 1939; English Cottage with Norman influence.

## Complementary

- 4506: 1926; Craftsman with English Tudor influence.  
4518: 1936; American Colonial Revival.  
4620: 1924; English Cottage.  
4624: 1925; Craftsman with English Tudor influence.  
4401: 1937; English Cottage.  
4501: 1929; Mediterranean.  
4505: 1941; American Colonial Revival.  
4511: 1924; Prairie with Craftsman influence.  
4605: 1926; English Cottage.  
4613: 1950; New England Colonial Revival.  
4617: 1925; Mediterranean.  
4619: 1956; American Colonial Revival.  
4621: 1926; English Cottage.  
4627: 1934; American Colonial Revival.  
4629: 1937; American Colonial Revival.  
4901: 1942; New England Colonial Revival.  
4905: 1943; American Colonial Revival.  
4909: 1938; American Colonial Revival.

## Edgebrook Place

## Pivotal

- 4612: 1931; Norman with English Cottage influence.

## Complementary

- 4614: 1925; English Cottage.  
4618: 1957; American Colonial Revival.



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4622: 1936; American Colonial Revival.  
4626: 1949; American Colonial Revival.  
4630: 1935; American Colonial Revival.  
4634: 1931; American Colonial Revival.  
4638: 1936; American Colonial Revival.  
4640: ca. 1950; Rambler.

## Sunnyside Road

## Pivotal

4108: 1937; French Provincial.  
4112: 1937; English Cottage.  
4114: 1936; American Colonial Revival.  
4116: 1936; Norman.  
4118: 1941; French Provincial with American Georgian Revival influence.  
4120: 1936; American Colonial Revival.  
4206: 1927; English Cottage with Norman influence.  
4218: 1939; English Cottage with Norman influence.  
4302: 1936; English Georgian Revival.  
4304: 1929; English Cottage with English Tudor influence.  
4400: 1930; English Cottage with Norman influence.  
4402: 1936; French Provincial with Norman influence.  
4404: 1929; English Cottage with English Tudor influence.  
4410: 1935; Norman with English Tudor influence.  
4600: 1931; English Cottage.  
4602: 1926; English Cottage with Norman influence.  
4704: 1929; English Cottage.  
4802: 1932; Mediterranean.  
4804: 1938; Norman with French Provincial influence.  
4806: 1936; American Colonial Revival.  
4912: 1925; Mediterranean.  
4601: 1927; English Cottage.  
4703: 1927; English Cottage.  
4801: 1930; English Cottage with Norman influence.  
4805: 1926; English Cottage with Norman influence.

## Complementary

4100: 1926; Mediterranean.  
4102: 1926; English Cottage.  
4104: 1926; American Colonial Revival.  
4106: 1937; American Colonial Revival.  
4110: 1937; American Colonial Revival.  
4200: 1926; English Cottage.  
4202: 1936; American Georgian Revival with French Provincial influence.  
4204: 1938; American Colonial Revival with American Georgian Revival influence.  
4208: 1937; English Cottage with Norman influence.  
4210: 1939; New England Colonial Revival with American Georgian Revival influence.



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- 4212: 1949; American Colonial Revival.  
4214: 1927; English Cottage.  
4216: 1941; New England Colonial Revival.  
4300: 1940; American Georgian Revival with French Provincial influence.  
4306: 1929; New England Colonial Revival.  
4406: 1926; English Cottage.  
4408: 1926; Mediterranean.  
4500: 1936; American Colonial Revival with English Georgian Revival influence.  
4502: 1935; New England Colonial Revival.  
4504: 1938; American Colonial Revival with English Georgian Revival influence.  
4506: 1942; American Colonial Revival.  
4510: 1941; American Colonial Revival.  
4606: 1936; American Colonial Revival.  
4700: 1936; English Cottage.  
4702: 1948; American Colonial Revival.  
4706: 1951; American Colonial Revival.  
4800: 1951; American Colonial Revival.  
4900: 1941; American Colonial Revival with American Georgian Revival influence.  
4902: 1928; American Colonial Revival.  
4904: 1947; Rambler.  
4908: 1925; New England Colonial Revival with American Colonial Revival influence.  
4916: 1945; American Colonial Revival.  
4920: 1945; American Colonial Revival with Cape Cod Colonial Revival influence.  
4603: 1931; English Cottage.  
4605: 1926; Mediterranean.  
4701: 1937; American Colonial Revival.  
4705: 1927; Mediterranean.  
4707: 1943; American Colonial Revival with New England Colonial Revival influence.  
4807: 1936; American Colonial Revival.  
4901: 1948; Rambler.  
4903: 1947; American Colonial Revival.  
4905: 1925; English Cottage.  
4907: 1946; American Colonial Revival.  
4909: 1940; Cape Cod Colonial Revival.  
4911: 1940; American Colonial Revival.

## Country Club Road

## Pivotal

- 4215: 1937; American Colonial Revival with Federal Revival influence.

## Complementary

- 4408: ca. 1950; Rambler.  
4203: 1939; American Colonial Revival.  
4209: 1937; American Colonial Revival.  
4221: 1937; American Colonial Revival.



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- 4225: 1943; American Colonial Revival with American Georgian Revival influence.
- 4229: 1942; American Colonial Revival.
- 4305: 1940; American Colonial Revival.
- 4303: 1940; American Colonial Revival.
- 4401: 1939; American Colonial Revival.
- 4403: 1937; American Colonial Revival with American Georgian Revival influence.
- 4405: 1938; American Colonial Revival.
- 4407: 1939; Norman with English Georgian Revival influence.
- 4409: 1952; Rambler.

West 50th Street

Pivotal

Wooddale School: 1926 and 1936; Mediterranean.

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<sup>1</sup>Setter, Leach & Lindstrom and Jeffrey A. Hess, "Survey: Historic Buildings of Edina, Minnesota," unpublished report prepared for the Edina Heritage Preservation Board and the City of Edina, July 6, 1979, page 61.

<sup>2</sup>Setter, Leach & Lindstrom and Hess. page 62.



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In June, 1924 homesites in the Country Club District were first offered for sale. All building and planting in the district was restricted and supervised by a home builders committee initially and later by a committee of the Country Club Association (1930 - 1941). Thorpe's promotional literature and advertisements included among the attributes of the district ". . . the way it's laid out in homesites rather than chopped up into lots; the 18 hole golf course and clubhouse; the natural scenic beauty of the gently rolling and well-treed property, its spaciousness; its proximity to downtown; its freedom from city taxes and the fact that the purchase of a homesite in the Country Club District carries with it all the modern improvements -- paved streets, curbing, sidewalks, water, electricity and sewage. There are no improvement assessments to follow."<sup>2</sup> Initially, the Country Club District attracted little attention; twenty-five houses were constructed in 1924. To attract residents to the district, Thorpe commissioned the Minneapolis architectural firm of Liebenberg and Kaplan in 1925-26 to design model homes on Edina Boulevard and Moorland Avenue. By 1931, 309 houses (56%) had been constructed throughout the district. The transformation of a rural agricultural community into a suburban community was complete. During the 1920s, the district formed a self-conscious, and virtually self-contained community, easily distinguishable from other Edina residential areas by its affluence, architecture and landscaping.<sup>3</sup> During the 1930s, however, the original Brown and Fairway Sections were gradually surrounded by newly platted residential districts of similar economic status, such as Brucewood, Sunny Slope, Rolling Green, and White Oaks.<sup>4</sup> Building continued throughout the district during the Great Depression and by 1936, 421 houses (76%) had been constructed. By 1940, 494 houses (90%) had been constructed throughout the district.

Future restricted and planned development in the district and throughout Edina was ensured in 1929 when Edina, the first municipality in Minnesota other than the three first class cities of Minneapolis, St. Paul and Duluth, passed a zoning ordinance. The ordinance was virtually tailor-made to the specifications of the Country Club District. The planning efforts initiated in the district set the standard for subsequent residential developments in Edina and in 1948 a zoning ordinance further adopted many of the restrictions that had been established twenty-four years earlier in the district. It is important to note that Edina was also the first suburb in Minnesota to engage professional planning consultants and to later establish a full-time planning position, largely as a result of the success of the earlier planning efforts in the district.

Architecturally, the Country Club District represents a significant and well-preserved concentration of historic revival styles. The model homes built by Thorpe in 1925-36, designed in a variety



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of historic revival styles, set an architectural standard for later construction in the district.<sup>5</sup> Historic revival styles, including American Colonial (158), American Georgian (6), Cape Cod Colonial (6), Dutch Colonial (4), English Cottage (180), English Tudor (20), French Provincial (11), Italian Renaissance (17), Mediterranean (67), New England Colonial (38), Norman (25), and Southern Colonial (1), inspired the design of 97% of the buildings in the district. The most popular styles are English Cottage (32%), American Colonial Revival (29%), and Mediterranean (12%). For a detailed description of the historic revival architecture represented in the district, see #7, Description.

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<sup>1</sup>Paul Hesterman, The History of Edina, unpublished report, page 52.

<sup>2</sup>Thorpe Brothers Realty Company, Brochure, page 3.

<sup>3</sup>Setter, Leach & Lindstrom and Jeffrey A. Hess, "Survey: Historic Buildings of Edina, Minnesota," unpublished report prepared for the Edina Heritage Preservation Board and the City of Edina, July 6, 1980, page 63.

<sup>4</sup>Setter, Leach & Lindstrom and Hess, page 63.



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Country Club District, Edina

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Fairway Section: Blocks, 1,2,3,4,5,6,7,8,9,10,11,12,14,15  
City of Edina, Hennepin County, Minnesota.



Frank Lushine 4600 Browndale Avenue Edina, MN 55424	Edward Thiele 4638 Edgebrook Pl. Edina, MN 55424	Leonard Addington 4305 Country Club Rd. Edina, MN 55424
		24-0099
Gaius Slosser 4602 Browndale Ave. Edina, MN 55424	Richard Zona 4640 Edgebrook Place Edina, MN 55424	H.G. Christianson 4401 Country Club Rd. Edina, MN 55424
24-0074	24-0085	24-0100
Beulah Utley 4604 Browndale Ave. Edina, MN 55424	Frank Jones 4616 Browndale Ave. Edina, MN 55424	Richard O'Leary 4403 Country Club Rd. Edina, MN 55424
24-0075	24-0086	24-0101
Paul Quinn 4610 Browndale Ave. Edina, MN 55424	William MacKenzie 4620 Browndale Ave. Edina, MN 55424	R.J. McNamara 4405 Country Club Rd. Edina, MN 55424
24-0076	24-0087	24-0102
A.B. Johnson 4612 Edgebrook Pl. Edina, MN 55424	Thomas Padden 4624 Browndale Ave. Edina, MN 55424	Joseph Price 4407 Country Club Road Edina, MN 55424
24-0077	24-0088	
William Flory 4614 Edgebrook Pl. Edina, MN 55424	Joseph Thomason 4628 Browndale Ave. Edina, MN 55424	Virgil Kluesner 4409 Country Club Rd. Edina, MN 55424
24-0078	24-0089	24-0104
Fred Boos 4618 Edgebrook Pl. Edina, MN 55424	Wayne Ruedy 4632 Browndale Ave. Edina, MN 55424	Jack A. Mertes 4620 Bruce Ave. Edina, MN 55424
24-0079	24-0090	
Harold Miller 4622 Edgebrook Pl. Edina, MN 55424	G.F. Bennett 4901 Browndale Ave. Edina, MN 55424	
24-0080	24-0091	
James Holker 4626 Edgebrook Pl. Edina, MN 55424	Y.P. Magnuson 4909 Browndale Ave. Edina, MN 55424	
24-0081	24-0092	
Gerald Flom 4630 Edgebrook Pl. Edina, MN 55424	Ronald Cornwell 4905 Browndale Ave. Edina, MN 55424	
24-0082	24-0093	
William Alvord 4634 Edgebrook Pl. Edina, MN 55424	Rheta McDonald 4303 Country Club Rd. Edina, MN 55424	
24-0083	24-0098	



Robert Schoening  
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Edina, MN 55424

24-0040

David Brown  
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Edina, MN 55424

James Bordewick  
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Edina, MN 55424

24-0062

John Dill  
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24-0041

Thomas Hamill  
4615 Browndale Ave.  
Edina, MN 55424

24-0052

Joseph Teynor  
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24-0063

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24-0054

Robert Meller  
4614 Moorland Ave.  
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24-0065

Bruce Bermel  
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Edina, MN 55424

24-0044

Terry Johnson  
4621 Browndale Ave.  
Edina, MN 55424

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Edina, MN 55424

24-0066

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Edina, MN 55424

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4623 Browndale Ave.  
Edina, MN 55424

24-0056

Oreste Boscia  
4610 Moorland Ave.  
Edina, MN 55424

24-0067

Robert Gibson  
4603 Browndale Ave.  
Edina, MN 55424

24-0046

John Thiel  
4625 Browndale Ave.  
Edina, MN 55424

24-0057

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4608 Moorland Ave.  
Edina, MN 55424

24-0068

Norma Kavanaugh  
4605 Browndale Ave.  
Edina, MN 55424

24-0047

J.R. Ritchie  
4627 Browndale Ave.  
Edina, MN 55424

24-0058

William Wells  
4606 Moorland Ave.  
Edina, MN 55424

24-0069

Joseph Cronin  
4607 Browndale Ave.  
Edina, MN 55424

24-0048

Madonna Clark  
4629 Browndale Ave.  
Edina, MN 55424

24-0059

Jon Joseph  
4604 Moorland Ave.  
Edina, MN 55424

24-0070

George Dorsey  
4609 Browndale Ave.  
Edina, MN 55424

24-0049

G. William Abrell  
4408 Country Club Rd.  
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24-0060

Kenneth Davis  
4602 Moorland Ave.  
Edina, MN 55424

24-0071

Gerald Perke  
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24-0050

Gloria Sims  
4622 Moorland Ave.  
Edina, MN 55424

24-0061

William Johnson  
4520 Browndale Ave.  
Edina, MN 55424

24-0072



Louis C. Lick 4613 Wooddale Ave. Edina, MN 55424	Keith West 4613 Edina Blvd. Edina, MN 55424	Calvin Simmons 4606 Wooddale Ave. Edina, MN 55424
	24-0017	24-0028
Ms. Sheilagh Ziegeweid 4615 Wooddale Ave. Edina, MN 55424	James Rude 4615 Edina Blvd. Edina, MN 55424	James Walsh 4604 Wooddale Ave. Edina, MN 55424
24-0007	24-0018	24-0029
Lawrence Schneider 4617 Wooddale Ave. Edina, MN 55424	C. Paul Jones 4617 Edina Blvd. Edina, MN 55424	A.K. McDonald 4603 Moorland Ave. Edina, MN 55424
24-0008	24-0019	24-0030
Richard Tickle 4619 Wooddale Ave. Edina, MN 55424	Richard Schmidt 4619 Edina Blvd. Edina, MN 55424	Fred Wollenberg 4605 Moorland Avenue Edina, MN 55424
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Michael Sitek 4621 Wooddale Ave. Edina, MN 55424	Peter Kuipers 8900 Penn Ave. So. #209 Bloomington, MN 55431	Charles Colby 4607 Moorland Ave. Edina, MN 55424
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J.P. Sieff 4623 Wooddale Ave. Edina, MN 55424	H. E. Hoffert 4624 Wooddale Ave. Edina, MN 55424	Robert Bossman 4609 Moorland Ave. Edina, MN 55424
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Gary Turnwall 4625 Wooddale Ave. Edina, MN 55424	Michael Ducar 4616 Wooddale Ave. Edina, MN 55424	Tom Miller 4611 Moorland Avenue Edina, MN 55424
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John McDonald 4605 Edina Blvd. Edina, MN 55424	Hoff Heiberg 4614 Wooddale Ave. Edina, MN 55424	John Stafford 4615 Moorland Ave. Edina, MN 55424
	24-0024	24-0035
Robert Barth 4607 Edina Blvd. Edina, MN 55424	N.A. Davidson 4612 Wooddale Ave. Edina, MN 55424	Charles Paulus 3705 W. 55th St. Edina, MN 55410
24-0014	24-0025	24-0036
D. Wray Schorr 4609 Edina Blvd. Edina, MN 55424	George Johnston 4610 Wooddale Ave. Edina, MN 55424	James Ruben 4619 Moorland Ave. Edina, MN 55424
24-0015	24-0026	24-0037
Robert McGandy 4611 Edina Blvd. Edina, MN 55424	James Roberts 4608 Wooddale Ave. Edina, MN 55424	K. David Chase 4614 Edina Blvd. Edina, MN 55424
24-0016	24-0027	0038 24-0039



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22-0077

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22-0056

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22-0067

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21-0057

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21-0058

Robert Olsen  
4517 Moorland Ave.  
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21-0059

William Hooper  
4516 Edina Blvd.  
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21-0076

John Deckenbach  
4517 Edina Blvd.  
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21-0077

Duane Franke  
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21-0078

Lawrence Edelman  
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21-0079

Robert Cox  
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Edina, MN 55424

21-0080

Michael Burnett  
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Edina, MN 55424

21-0081

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21-0082

Robert Heiberg  
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21-0083

Irving Knelman  
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21-0084

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21-0085

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Thomas Strom  
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21-0087

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21-0089



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21-0090

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21-0101

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22-0041

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21-0091

John Bigelow  
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21-0102

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21-0092

Harry Jensen  
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21-0103

Louis Rupnik  
4602 Sunnyside Rd.  
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Ronald Vessey  
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21-0093

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21-0104

Peter McDavitt  
4606 Sunnyside Rd.  
Edina, MN 55424  
22-0044

George Fulton  
4511 Wooddale Ave.  
Edina, MN 55424

James Cote  
4602 Wooddale Ave.  
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21-0105

Ronald Leafblad  
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22-0045

Charles Crowell  
4513 Wooddale Ave.  
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21-0095

R.E. Evon  
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21-0106

Ardell Burnett  
4702 Sunnyside Rd.  
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22-0046

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21-0096

William Van Hercke  
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4704 Sunnyside Rd.  
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22-0047

Sherman Miller  
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21-0097

Charles Chedister  
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21-0108

Gary McIlroy  
4706 Sunnyside Rd.  
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22-0048

Henry Leivestad  
4519 Wooddale Ave.  
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21-0098

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21-0109

T.E. Kenealy  
4800 Sunnyside Rd.  
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22-0049

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21-0110

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22-0050

Daniel Mulheran  
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4804 Sunnyside Rd.  
Edina, MN 55424  
22-0051



Janice Larson 4408 Sunnyside Rd. Edina, MN 55424 21-0023	Donald Roberts 4503 Browndale Ave. Edina, MN 55424 21-0035	Arnold Schaefer 4508 Moorland Ave. Edina, MN 55424 21-0046
Fred Ziegel 4406 Sunnyside Road Edina, MN 55424	John Beal 4505 Browndale Ave. Edina, MN 55424 21-0036	Patrick Rile 4506 Moorland Ave. Edina, MN 55424 21-0047
Daniel Evans 4404 Sunnyside Rd. Edina, MN 55424 21-0025	John Jacoby 4507 Browndale Ave. Edina, MN 55424 21-0037	James Johnson 4504 Moorland Ave. Edina, MN 55424 21-0048
Thornton Anderson 4402 Sunnyside Rd. Edina, MN 55424 21-0026	Robert Henson 4509 Browndale Ave. Edina, MN 55424 21-0038	Robert Kennedy 4502 Moorland Ave. Edina, MN 55424 21-0049
John Utter 4400 Sunnyside Rd. Edina, MN 55424 21-0027	William Horn 4511 Browndale Ave. Edina, MN 55424 21-0039	Charles Turner 4500 Moorland Ave. Edina, MN 55424 21-0050
Thomas Amsden 4306 Sunnyside Rd. Edina, MN 55424 21-0028	Lawrence Laukka 4513 Browndale Ave. Edina, MN 55424 21-0040	R. Thomas Snyder 4501 Moorland Ave. Edina, MN 55424
James Hidding 4304 Sunnyside Road Edina, MN 55424	John Pluhar 4515 Browndale Ave. Edina, MN 55424 21-0041	Frederick Shideman 4503 Moorland Ave. Edina, MN 55424 21-0052
William Doggett 4302 Sunnyside Rd. Edina, MN 55424 21-0030	Margardt Sundbert 4516 Moorland Ave. Edina, MN 55424 21-0042	Edward Forbes 4505 Moorland Ave. Edina, MN 55424 21-0053
Wilfred Frank, Jr. 4300 Sunnyside Rd. Edina, MN 55424 21-0031	Thomas Collins 4514 Moorland Ave. Edina, MN 55424 21-0043	Ronald Lien 4507 Moorland Ave. Edina, MN 55424 21-0054
Rodney Hardy 4506 Browndale Edina, MN 55424	Cary Humphries 4512 Moorland Ave. Edina, MN 55424 21-0044	Richard Sturgeon 4509 Moorland Ave. Edina, MN 55424 21-0055
Michael Wright 4501 Browndale Ave. Edina, MN 55424 21-0034	E.W. Fierke 4510 Moorland Ave. Edina, MN 55424 21-0045	Cris Stang 4511 Moorland Ave. Edina, MN 55424 21-0056



R.S. Strickland 1908 Arden Ave. Edina, MN 55424 13-0127	Allan Odell 4903 Bruce Ave. Edina, MN 55424 13-0138	William Kenny 4221 Country Club Rd. Edina, MN 55424 13-0152
Mercedes Mackall 1910 Arden Ave. Edina, MN 55424 13-0128	John Benson 4901 Bruce Ave. Edina, MN 55424 13-0139	William List 4225 Country Club Rd. Edina, MN 55424 13-0153
Frank Cooley 1912 Arden Ave. Edina, MN 55424 13-0129	Leo Tichawa <sup>John Salstrom</sup> 4914 Bruce Ave. Edina, MN 55424 13-0140	Thomas Carlson 4229 Country Club Rd. Edina, MN 55424 13-0154
E. Wayne Parchman 4914 Arden Avenue Edina, MN 55424	Charles McMunn 4906 Bruce Ave. Edina, MN 55424 13-0143	Robert Westenberg 4910 Bruce Ave. Edina, MN 55424 13-0163
Thelma Duncan 1916 Arden Ave. Edina, MN 55424 13-0131	Richard Brozic 4906 Bruce Ave. Edina, MN 55424 13-0144	Church of St. Stephen 4439 W. 50th St. Edina, MN 55424 21-0016
William Orr 1920 Arden Ave. Edina, MN 55424 13-0132	Michael Kerrison 4904 Bruce Ave. Edina, MN 55424 13-0145	Raymond Joschko 4510 Sunnyside Rd. Edina, MN 55424 21-0017
Magnes Maurer 1919 Bruce Ave. Edina, MN 55424 13-0133	William Egan 900 1st National Bank Bld Minneapolis, MN 55402 13-0146	Arthur Bredesen III 4506 Sunnyside Rd. Edina, MN 55424 21-0018
John Collins 1913 Bruce Ave. Edina, MN 55424 13-0134	Frank Mc Donald 4900 Bruce Ave. Edina, MN 55424 13-0147	Joseph Cella 4504 Sunnyside Rd. Edina, MN 55424 21-0019
Bruce Aamoth 1911 Bruce Ave. Edina, MN 55424 13-0135	M.L. Bergquist 4203 Country Club Rd. Edina, MN 55424 13-0148 0149	Edward Cussler 4502 Sunnyside Road Edina, MN 55424
Samuel Hughes 1909 Bruce Ave. Edina, MN 55424 13-0136	T. Vennum 4200 IDS Center Minneapolis, MN 55402 13-0150	John Kelly 4500 Sunnyside Rd. Edina, MN 55424 21-0021
Robert Macfennan Ray Buckbee 1907 Bruce Ave. Edina, MN 55424 13-0137	George Johnson 4215 Country Club Road Edina, MN 55424	Alvin J. Porter The Catholic Aid Assoc. 49 W. 9th St. St. Paul, MN 55102 21-0022



Peter Anderson 4623 Bruce Avenue Edina, MN 55424	P.L. Damon 4617 Arden Ave. Edina, MN 55424	Jerome Simons, Jr. 4903 Arden Ave. Edina, MN 55424	13-0105	13-0116
L.J. Brenna 4621 Bruce Ave. Edina, MN 55424	William Truman 4619 Arden Ave. Edina, MN 55424	Hugh Jones 4905 Arden Ave. Edina, MN 55424	13-0092	13-0106
Ralph Tully 4619 Bruce Ave. Edina, MN 55424	Ron Iverson 4621 Arden Avenue Edina, MN 55424	Joseph Beach 4907 Arden Ave. Edina, MN 55424	13-0093	13-0117
Charles Lindberg 4617 Bruce Ave. Edina, MN 55424	Gary Hauck 4623 Arden Ave. Edina, MN 55424	Thomas Medcalf 4909 Arden Ave. Edina, MN 55424	13-0094	13-0108
Eva Habermann 4615 Bruce Ave. Edina, MN 55424	Jean Simard 4625 Arden Ave. Edina, MN 55424	Edwin Carpenter 4911 Arden Ave. Edina, MN 55424	13-0095	13-0109
Robert Schultz 4613 Bruce Ave. Edina, MN 55424	Ida Lawrence <i>Robert Northrup</i> 4627 Arden Ave. Edina, MN 55424	Stephen Davis 33 So. 5th St. Minneapolis, MN 55402	13-0096	13-0110
Michael Casserly 4611 Bruce Ave. Edina, MN 55424	Bartlett McNamara 4629 Arden Ave. Edina, MN 55424	Clinton Schroeder 4917 Arden Ave. Edina, MN 55424	13-0097	13-0111
Duane Soltau 4609 Bruce Ave. Edina, MN 55424	James Motzko 4631 Arden Ave. Edina, MN 55424	Charles Roberts 4919 Arden Ave. Edina, MN 55424	13-0098	13-0112
Mrs. Ray Zech 4609 Arden Avenue Edina, MN 55424	William Berg 4633 Arden Ave. Edina, MN 55424	Mark Nesbit 4900 Arden Ave. Edina, MN 55424	13-0102	13-0113
John Mullen 4611 Arden Ave. Edina, MN 55424	Carl Swendseen 4637 Arden Ave. Edina, MN 55424	Gerald Sorenson 4904 Arden Ave. Edina, MN 55424	13-0103	13-0114
Alvin Gottschall 4615 Arden Ave. Edina, MN 55424	Stuart Johnson 4901 Arden Ave. Edina, MN 55424	Mary L. Buckley 4906 Arden Ave. Edina, MN 55424	13-0104	13-0115



James Blanchard 4637 Casco Ave. Edina, MN 55424	Timothy McGlynn 4615 Casco Ave. Edina, MN 55424	James Toepel 4622 Arden Ave. Edina, MN 55424	10 13-0080
Ted Cronk 4635 Casco Ave. Edina, MN 55424	Mrs. Francis Carter 4613 Casco Ave. Edina, MN 55424	Cornell Kissell 4624 Arden Ave. Edina, MN 55424	13-0070 13-0081
George White 4633 Casco Ave. Edina, MN 55424	Peter Lind 4611 Casco Ave. Edina, MN 55424	Jeffrey Keyes 4626 Arden Ave. Edina, MN 55424	13-0060 13-0082
M.D. Trisko 4631 Casco Ave.. Edina, MN 55424	John Henry Jane Rosenow 4609 Casco Ave. Edina, MN 55424	James Stinson 4628 Arden Ave. Edina, MN 55424	13-0072 13-0083
Roland Schroeder 4629 Casco Ave. Edina, MN 55424	Gerald Kimmer 4608 Arden Ave. Edina, MN 55424	Dennis Leese 4630 Arden Ave. Edina, MN 55424	13-0062 13-0073 13-0084
W.W. Brauer 4627 Casco Ave. Edina, MN 55424	Vallea Frear 4610 Arden Ave. Edina, MN 55424	David Gillman 4632 Arden Ave. Edina, MN 55424	13-0063 13-0074 13-0085
Robert Colbert 4625 Casco Ave. Edina, MN 55424	Charles Ingwalson 4612 Arden Ave. Edina, MN 55424	Paul Laederach 4633 Bruce Ave. Edina, MN 55424	13-0064 13-0075 13-0086
Karl Benz 4623 Casco Ave. Edina, MN 55424	Charles McCabe 4614 Arden Ave. Edina, MN 55424	William Hurley 4631 Bruce Ave. Edina, MN 55424	13-0065 13-0076 13-0087
David Stevens 4621 Casco Ave. Edina, MN 55424	Larry Johnson 4616 Arden Ave. Edina, MN 55424	Thomas Crosbie 4629 Bruce Ave. Edina, MN 55424	13-0077 13-0088
James Kreiger 4619 Casco Ave. Edina, MN 55424	Marjorie Bocker 4618 Arden Ave. Edina, MN 55424	James Reuland 4627 Bruce Ave. Edina, MN 55424	13-0078
Thomas Awsumb 4617 Casco Ave. Edina, MN 55424	D.E. McFarland 4620 Arden Ave. Edina, MN 55424	Ethel Lindberg 4625 Bruce Ave. Edina, MN 55424	13-0068 13-0079 13-0090



John Swift  
4626 Casco Ave.  
Edina, MN 55424

13-0024

Richard Cushing  
4628 Casco Ave.  
Edina, MN 55424

13-0025

Robert Johnson  
4630 Casco Ave.  
Edina, MN 55424

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Thomas Sheehan  
4623 Casco Ave.  
Edina, MN 55424

13-0027

Frank Vince  
4634 Casco Ave.  
Edina, MN 55424

13-0028

Philip Randall  
4636 Casco A.e.  
Edina, MN 55424

13-0029

Foster Dunwiddie  
4638 Casco Ave.  
Edina, MN 55424

13-0030

F.N. Haymaker  
4633 Drexel Ave.  
Edina, MN 55424

13-0031

P.M. Lewis Jr.  
4629 Drexel Ave.  
Edina, MN 55424

13-0032

Douglas McPeak  
4627 Drexel Ave.  
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13-0033

Frederic Nelson  
4625 Drexel Ave.  
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13-0034

Kenneth Thurber  
4623 Drexel Ave.  
Edina, MN 55424

13-0035

Herbert Thomas  
4621 Drexel Ave.  
Edina, MN 55424

13-0036

Robert Howell  
4619 Drexel Ave.  
Edina, MN 55424

13-0037

Nicholas Rogers  
4617 Drexel Ave.  
Edina, MN 55424

13-0038

I.J. Fertig  
4615 Drexel Ave.  
Edina, MN 55424

13-0039

Roger Lemieux  
4613 Drexel Ave.  
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13-0040

Robert Kuenzli  
4611 Drexel Ave.  
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13-0041

Steven Simon  
4609 Drexel Ave.  
Edina, MN 55424

13-0042

Dwight Soucy  
4607 Drexel Ave.  
Edina, MN 55424

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Robert Pride  
4608 Bruce Ave.  
Edina, MN 55424

George Adamovich  
4610 Bruce Ave.  
Edina, MN 55424

13-0045

Gregory Burns  
4612 Bruce Ave.  
Edina, MN 55424

13-0046

Larry Gru  
4614 Bruce Ave.  
Edina, MN 55424

James Belligan  
4616 Bruce Ave.  
Edina, MN 55424

William Lord  
4618 Bruce Av e  
Edina, MN 55424

13-0049

Erling Grinley  
4622 Bruce Ave.  
Edina, MN 55424

13-0051

Charles Nasby  
4624 Bruce Ave.  
Edina, MN 55424

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James Slaughter  
4626 Bruce Ave.  
Edina, MN 55424

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Richard Brozic  
4628 Bruce Ave.  
Edina, Mn 55424

James Maciej  
4630 Bruce Ave.  
Edina, MN 55424

13-0055

George Billings  
4632 Bruce Ave.  
Edina, MN 55424

13-0056

David Weaver  
4634 Bruce Ave.  
Edina, MN 55424

13-0057



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4605 Arden Ave.  
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4626 Drexel Ave.  
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12

12-0174

13-881

Joseph Buckley  
4108 Sunnyside Rd.  
Edina, MN 55424

12-0164

Donald Geesaman  
4606 Drexel Ave.  
Edina, MN 55424

13-0002

Bright Dornblaser  
4630 Drexel Ave.  
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13-001

Marie Anderson  
4106 Sunnyside Rd.  
Edina, MN 55424

12-0165

Robert Larson  
4608 Drexel Ave.  
Edina, MN 55424

13-0003

Richard Passolt  
4608 Casco Ave.  
Edina, MN 55424

13-0015

Martin Erickson  
4104 Sunnyside Rd.  
Edina, MN 55424

12-0166

Edward Bennett  
4610 Drexel Ave.  
Edina, MN 55424

13-0004

Dolores Jacobs  
4610 Casco Ave.  
Edina, MN 55424

13-0010

Edward Callin  
4102 Sunnyside Rd.  
Edina, MN 55424

12-0167

Thomas Rash  
4612 Drexel Ave.  
Edina, MN 55424

William Gamble  
4612 Casco Ave.  
Edina, MN 55424

13-0017

Victor Lemesis  
4100 Sunnyside Road  
Edina, MN 55424

Jane Venell  
4614 Drexel Ave.  
Edina, MN 55424

13-0006

Peter Pappas  
4614 Casco Ave.  
Edina, MN 55424

13-0018

William Hoch, Jr.  
4501 Arden Ave  
Edina, Mn 55424

Richard Stromme  
4616 Drexel Ave.  
Edina, MN 55424

13-0007

Richard Radder  
4616 Casco Ave.  
Edina, MN 55424

13-0019

Gladys Hacking  
4500 Arden Avenue  
Edina, MN 55424

12-0170

Jack Riedel  
4618 Drexel Ave.  
Edina, MN 55424

O.A. Thompson  
4618 Casco Ave.  
Edina, MN 55424

13-0020

Jerald Martin  
4501 Bruce Ave.  
Edina, MN 55424

Robert Mach  
4620 Drexel Ave.  
Edina, MN 55424

13-0009

Thelka Brand  
4620 Casco Ave.  
Edina, MN 55424

13-0021

Michael McGlynn  
4601 Arden Ave.  
Edina, MN 55424

12-0172

Philip Fuller  
4622 Drexel Ave.  
Edina, MN 55424

13-0010

David Kelly  
4622 Casco Ave.  
Edina, MN 55424

13-0022

J.A. Peterson  
4603 Arden Ave.  
Edina, MN 55424

12-0173

Gregory Bradbury  
4624 Drexel Ave.  
Edina, MN 55424

Hans Sandbo  
4624 Casco Ave.  
Edina, MN 55424

13-0023



Ward Johnson  
4518 Drexel Ave.  
Edina, MN 55424

12-0130

Douglas Tate  
4606 Casco Ave.  
Edina, MN 55424

12-0141

Robert Sidenberg  
4601 Casco Ave.  
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12-0152

O.O. Knutson  
4520 Drexel Ave.  
Edina, MN 55424

12-0131

Michael Hurley  
4605 Drexel Ave.  
Edina, MN 55424

12-0142

Brewster Sanders  
4600 Arden Ave.  
Edina, MN 55424

12-0153

Dan Franjac  
4522 Drexel Ave.  
Edina, Mn 55424

12-0132

John Hamilton  
4603 Drexel Ave.  
Edina, MN 55424

12-0143

Richard Rosow  
4602 Arden Ave.  
Edina, MN 55424

12-0154

John Morrison  
4524 Drexel Ave.  
Edina, Mn 55424

12-0133

Michael Lewis  
4601 Drexel Ave.  
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12-0144

Richard Miner  
4604 Arden Ave.  
Edina, MN 55424

12-0155

Arthur Rouner  
4526 Drexel Avenue  
Edina, MN 55424

12-0134

Philip Roberts  
4600 Bruce Ave.  
Edina, MN 55424

12-0145

Edward White  
4606 Arden Ave.  
Edina, MN 55424

12-0156

Michael O'Rourke  
4600 Drexel Ave.  
Edina, MN 55424

12-0135

Herbert Penner  
4602 Bruce Ave.  
Edina, MN 55424

12-0146

Joyce Thomas  
4607 Bruce Ave.  
Edina, MN 55424

12-0157

Anthony Pollock  
4602 Drexel Ave.  
Edina, MN 55424

12-0136

James Grant  
4604 Bruce Ave.  
Edina, MN 55424

12-0147

R.J. Christianson  
4605 Bruce Ave.  
Edina, MN 55424

12-0158

Clifford Eckman  
4604 Drexel Ave.  
Edina, MN 55424

12-0137

William Kelly  
4606 Bruce Ave.  
Edina, MN 55424

12-0148

Gordon Spartz  
4603 Bruce Ave.  
Edina, MN 55424

12-0159

Mark Simonsen  
4600 Casco Ave.  
Edina, Mn 55424

12-0138

Joseph Werner  
4607 Casco Ave.  
Edina, MN 55424

12-0149

George Lochrem  
4601 Bruce Avenue  
Edina, MN 55424

12-160

James Pfutzenreuter  
4602 Casco Ave.  
Edina, MN 55424

12-0139

Florence Hogander  
4605 Casco Ave.  
Edina, MN 55424

12-0150

F.C. Carlson  
4607 Arden Ave.  
Edina, MN 55424

12-0161

DeWayne Peterson  
4604 Casco Ave.  
Edina, MN 55424

12-0140

David Anderson  
4603 Casco Ave.  
Edina, MN 55424

12-0151

Guy Patzloff  
4112 Sunnyside Rd.  
Edina, MN 55424

12-0162



Stephen Nelson  
4514 Casco Ave.  
Edina, MN 55424

12-0097

John Morrison  
4524 Drexel Ave.  
Edina, MN 55424

12-0108

William Lamb  
4503 Drexel Ave.  
Edina, MN 55424

12-0119

14

Michael Black  
4516 Casco Ave.  
Edina, MN 55424

12-0098

Edina Realty  
4523 Drexel Avenue  
Edina, MN 55424

12-0109

Ralph Franciosi  
4501 Drexel Ave.  
Edina, MN 55424

12-0120

John Burbridge  
4518 Casco Ave.  
Edina, MN 55424

12-0099

Jean Perry  
4521 Drexel Ave.  
Edina, MN 55424

12-0110

Christian Schrock  
4500 Drexel Avenue  
Edina, MN 55424

Garold Nyberg  
4520 Casco Ave.  
Edina, MN 55424

12-0100

James Jacobs  
4519 Drexel Ave.  
Edina, MN 55424

12-0111

David Murphy  
4502 Drexel Ave.  
Edina, MN 55424

12-0122

Paul Clarkson  
4522 Casco Ave.  
Edina, MN 55424

12-0101

Carl Teisberg  
4517 Drexel Ave.  
Edina, MN 55424

12-0112

Julius Bonello  
4504 Drexel Ave.  
Edina, MN 55424

12-012

Brian Duoos  
4524 Casco Ave.  
Edina, MN 55424

12-0102

Robert Lee  
4515 Drexel Ave.  
Edina, MN 55424

12-0113

Dana Marshall  
4506 Drexel Ave.  
Edina, MN 55424

12-012

Robert McGarry  
4526 Casco Ave.  
Edina, MN 55424

12-0103

Harlan Anderson  
4513 Drexel Ave.  
Edina, MN 55424

12-0114

Robert Diggs  
4508 Drexel Ave.  
Edina, MN 55424

12-012

Richard Moberg  
4528 Casco Ave.  
Edina, MN 55424

12-0104

Ford Crouch  
4511 Drexel Ave.  
Edina, MN 55424

12-0115

Gary Hoch  
4510 Drexel Ave.  
Edina, MN 55424

12-012

Milton Adams  
4530 Casco Ave.  
Edina, MN 55424

12-0105

Peter Muldowney  
4509 Drexel Avenue  
Edina, MN 55424

12-0116

Robert N. Jones  
4512 Drexel Ave.  
Edina, MN 55424

12-0127

Glen Happe  
4532 Casco Ave.  
Edina, MN 55424

12-0106

George Daravingas  
4507 Drexel Ave.  
Edina, MN 55424

12-0117

Loren Vorlicky  
4514 Drexel Ave.  
Edina, MN 55424

12-012

Thomas Packard  
4527 Drexel Ave.  
Edina, MN 55424

12-0107

John Hart  
4505 Drexel Ave.  
Edina, MN 55424

12-0118

J.E. McCambridge  
4516 Drexel Ave.  
Edina, MN 55424

12-012



Robert Hill 7101 Oxford St. Minneapolis, MN 55426	12-0064	Robert Keller 4531 Casco Ave. Edina, Mn 55424	12-0075	William Wright, Jr. 15 4509 Casco Ave. Edina, MN 55424	12-0086
A.E. Ward 4510 Bruce Ave. Edina, MN 55424	12-0065	Theodore Stutsman 4529 Casco Ave. Edina, MN 55424	12-0076	J.S. Williams 4507 Casco Ave. Edina, MN 55424	12-0087
Lucille Johnson 4512 Bruce Ave. Edina, MN 55424	12-0066	Stephen Holland 4527 Casco Ave. Edina, MN 55424	12-0077	Courtney Thorson 4505 Casco Ave. Edina, MN 55424	12-0088
Donald Duncan 4514 Bruce Ave. Edina, MN 55424	12-0067	E.R. Wilbur 4525 Casco Ave. Edina, MN 55424	12-0078	Stephen Marker 4503 Casco Ave. Edina, MN 55424	12-0089
Paul Mucke 4516 Bruce Ave. Edina, MN 55424	12-0068	Paul Lorenz 4523 Casco Ave. Edina, MN 55424	12-0079	Joel Seashore/Greg Reddin 4501 Casco Ave. Edina, MN 55424	12-0090
Robert Gustafson 4518 Bruce Ave. Edina, MN 55424	12-0069	Sharyl Nestor 4521 Casco Ave. Edina, Mn 55424	12-0080	Vivian Karalis 4500 Casco Ave. Edina, MN 55424	12-0091
Marie Barrett 4520 Bruce Ave. Edina, MN 55424	12-0070	Mark Jaspers 4519 Casco Ave. Edina, MN 55424	12-0081	B. Halladay/C. Brucato 4504 Casco Ave. Edina, MN 55424	12-0092
Susan Lahm 4522 Bruce Avenue Edina, MN 55424		LeRoy Johnson, Jr. 4517 Casco Ave. Edina, MN 55424	12-0082	Robert Patrin 4506 Casco Ave. Edina, MN 55424	12-0093
Otto Byhre, Jr. 4524 Bruce Ave. Edina, MN 55424	12-0072	Kathleen McGahey 4515 Casco Ave. Edina, MN 55424	12-0083	James Toren 4508 Casco Ave. Edina, MN 55424	12-0094
Thelma McGuiggan 4526 Bruce Ave. Edina, MN 55424	12-0073	P.L. Covell 4513 Casco Ave. Edina, MN 55424	12-0084	Delmar Mulder 4510 Casco Ave. Edina, MN 55424	12-0095
R. Bruce Kobs 4530 Bruce Ave. Edina, MN 55424	12-0074	Mr. Menke 4511 Casco Ave. Edina, MN 55424	12-0085	Charles Trudeau 4512 Casco Ave. Edina, MN 55424	12-0096

Hollis Wunder  
4508 Arden Avenue  
Edina, MN 55424  
12-0033

Stuart Lutz  
4530 Arden Ave.  
Edina, Mn 55424

12-0044

Douglas Matysi  
4511 Bruce Avenue  
Edina, MN 55424  
12-0055

Paul Gens  
4510 Arden Avenue  
Edina, MN 55424  
12-0034

Joseph Kenney  
4531 Bruce Avenue  
Edina, MN 55424  
12-0045

Peter Garske  
4509 Bruce Avenue  
Edina, MN 55424  
12-0056

Virgil Leih  
4512 Arden Avenue  
Edina, MN 55424  
12-0035

David Palecek  
4529 Bruce Avenue  
Edina, MN. 55424  
12-0046

Mrs. Eugene Lamothe  
4503 Bruce Avenue  
Edina, MN 55424  
12-0057

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Duncan Sinclair  
4514 Arden Avenue  
Edina, MN 55424  
12-0036

Lloyd Kepple  
4527 Bruce Ave.  
Edina, MN 55424  
12-0047

Roger Schelper  
4505 Bruce Avenue  
Edina, MN 55424  
12-0058

Roger Olson  
4516 Arden Avenue  
Edina, MN 55424  
12-0037

Barbara Vlaming  
4525 Bruce Avenue  
Edina, MN 55424  
12-0048

James Buff  
4503 Bruce Avenue  
Edina, MN 55424  
12-0059

Joseph Loeffler  
4518 Arden Avenue  
Edina, MN 55424  
12-0038

Roger Awsumb  
4523 Bruce Avenue  
Edina, MN 55424  
12-0049

Douglas Gillespie  
4115 Sunnyside Rd.  
Edina, MN 55424  
12-0060

D.X. Juneau  
4520 Arden Avenue  
Edina, MN 55424  
12-0039

Stanley Raub  
4521 Bruce Avenue  
Edina, MN 55424  
12-0050

Leon DeWit  
4502 Bruce Ave.  
Edina, MN 55424  
12-0061

Frank Cerra  
4522 Arden Ave.  
Edina, MN 55424  
12-0040

R.C. Smith  
4519 Bruce Avenue  
Edina, MN 55424  
12-0051

Lowell Weber  
4504 Bruce Ave.  
Edina, MN 55424  
12-0062

Thomas Mattison  
4524 Arden Avenue  
Edina, MN 55424  
12-0041

Glenn Urquhart  
4517 Bruce Avenue  
Edina, MN 55424  
12-0052

Richard Massopust  
4506 Bruce Avenue  
Edina, MN 55424  
12-0063

Terry Yarger, Jr.  
4526 Arden Avenue  
Edina, MN 55424  
12-0042

Redmond Tyler  
4515 Bruce Avenue  
Edina, MN 55424  
12-0053

Richard Estensen  
4528 Arden Avenue  
Edina, MN 55424  
12-0043

Timothy O'Brien  
4513 Bruce Avenue  
Edina, MN 55424  
12-0054



Frank Dougherty  
4114 Sunnyside Rd.  
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4214 Sunnyside Rd.  
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4525 Arden Avenue  
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Patrick Carroll  
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Larry Nelson  
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Edina, MN 55424 12-0018

Valdemar Olson  
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Edina, MN 55424 12-0030

Albert Heiam  
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Richard Burg  
4515 Arden Avenue  
Edina, MN 55424 12-0021

Ronald Hedger  
4504 Arden Avenue  
Edina, MN 55424 12-0031

Norman Blemaster  
4212 Sunnyside Rd.  
Edina, MN 55424 12-0011

Thomas May  
4517 Arden Ave.  
Edina, MN 55424 12-0022

Bill Alvizos  
4506 Arden Avenue  
Edina, MN 55424 12-0032

VILLAGE OF ST. LOUIS PARK

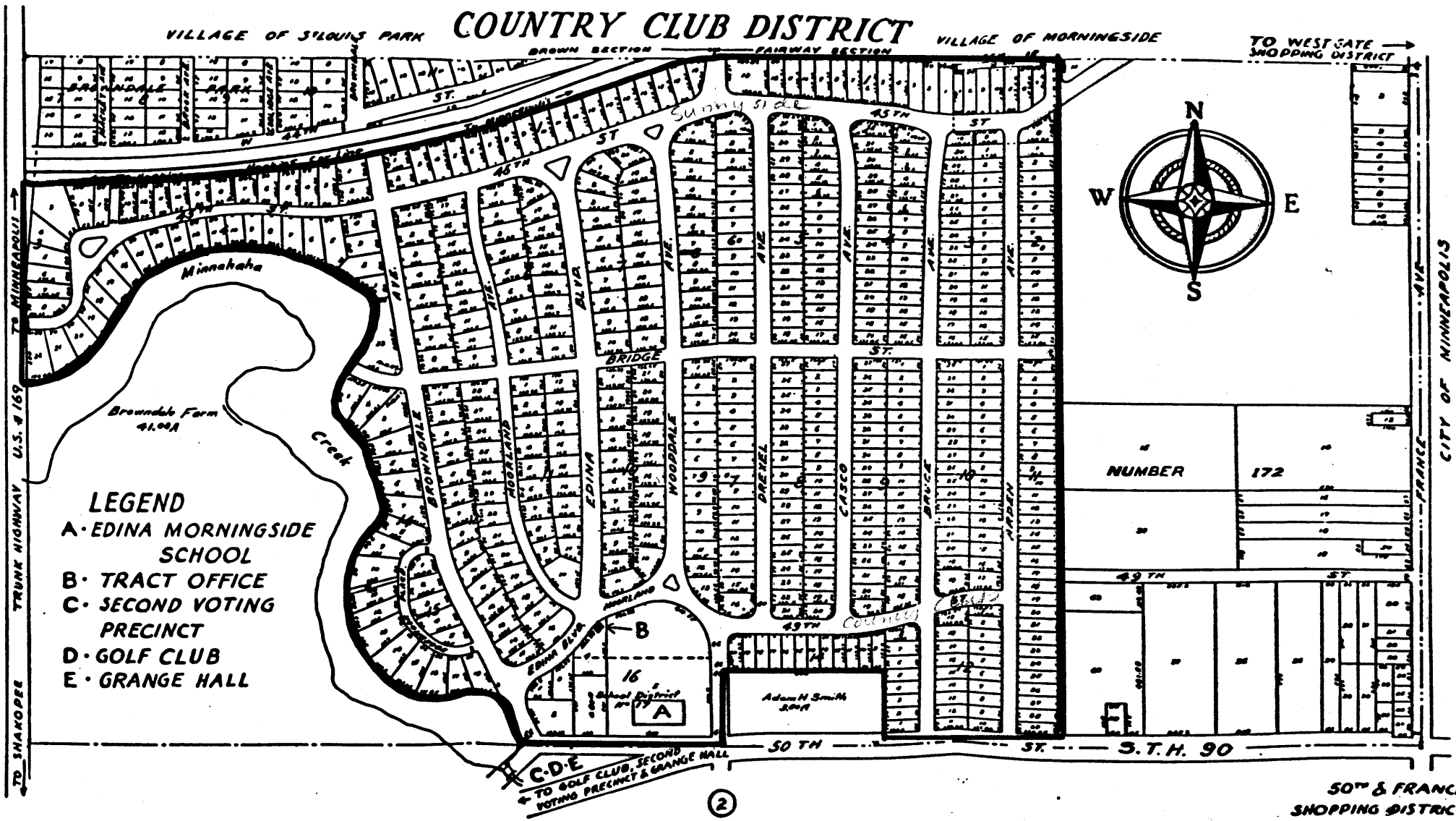
# COUNTRY CLUB DISTRICT

VILLAGE OF MORNINGSIDE

TO WEST GATE SHOPPING DISTRICT

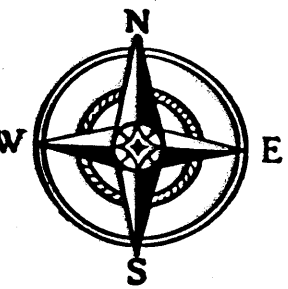
BROWN SECTION

FAIRWAY SECTION



### LEGEND

- A • EDINA MORNINGSIDE SCHOOL
- B • TRACT OFFICE
- C • SECOND VOTING PRECINCT
- D • GOLF CLUB
- E • GRANGE HALL



NUMBER 172

C-D-E  
 TO GOLF CLUB, SECOND VOTING PRECINCT & GRANGE HALL

2

50<sup>TH</sup> & FRANCE SHOPPING DISTRICT



# **EDINA'S HISTORIC COUNTRY CLUB DISTRICT PLAN OF TREATMENT**

## **PLANNING OBJECTIVE**

The primary objective of the Country Club Heritage Landmark District is preservation of the existing historic house facades and streetscapes. Certificates of Appropriateness from the Heritage Preservation Board will be required for demolition, moving buildings, and new construction within the district. In fulfillment of this responsibility, the City has adopted the Secretary of the Interior's Standards for the Treatment of Historic Properties as the basis for the Board's design review decisions. The preferred treatment for heritage preservation resources in the Country Club District is rehabilitation, which is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

## **SECRETARY OF THE INTERIOR'S STANDARDS**

The Secretary of the Interior's standards for rehabilitation are neither technical nor prescriptive, but are intended to promote responsible preservation practices. They are regulatory only with respect to Certificates of Appropriateness for demolition and new construction; for work that is not subject to design review, they are advisory. The standards for rehabilitation are:

- a) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- b) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- c) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- d) Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- e) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- g) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h) Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- j) New additions and adjacent new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

### **CERTIFICATES OF APPROPRIATENESS**

A Certificate of Appropriateness will be required before any City permit is issued for the demolition and new construction of any principal dwelling or detached garage within the district boundaries.

#### **Definitions:**

**Demolition** - For purposes of design review and compliance with City Code §850.20 subd. 10, demolition shall mean the physical alteration of a building that requires a city permit and where:

- (a) 50% or more of the surface area of all exterior walls, in the aggregate, are removed; or
- (b) 50% or more of the principal roof structure is removed, changing its shape, pitch, or height; or
- (c) A front porch, side porch, vestibule, dormer, chimney, attached garage, or porte-cochere is removed or destroyed.

This definition does not include removal of existing siding, roofing, trim, fascia, soffit, eave moldings, windows, and doors.

**Heritage Preservation Resource or Historic Building** – Any building, site, structure, or object that has been so designated by the Heritage Preservation Board on the basis of its historic associations or historic architectural qualities which add to the significance of the district as a whole. Heritage preservation resources may lack individual distinction but must possess historic significance and integrity of those features necessary to convey their heritage preservation value. An updated inventory of heritage preservation resources in the Country Club District is maintained by the City Planner. Heritage preservation resources include those homes built from 1924 – 1944, the period when the developer enforced rigid architectural standards on new home construction through restrictive covenants.

- No Certificate of Appropriateness will be approved for the demolition, in whole or in part, of any heritage preservation resource in the district unless the applicant can show that the subject property is not a heritage preservation resource, or no longer contributes to the historical significance of the district because its historic integrity has been compromised by deterioration, damage, or by inappropriate additions or alterations.
- Except in extraordinary circumstances involving threats to public health or safety, no Certificate of Appropriateness will be issued for the demolition of an existing heritage preservation resource in the district without an approved design plan for new construction.

### **DESIGN REVIEW GUIDELINES**

New home construction will be limited to existing residential lots and their design will be compatible with the original (1924-1944) Country Club District deed restrictions relating to architecture. The following guidelines generally reflect the principles of the deed restrictions and will be applied by the Heritage Preservation Board to design review of plans for new houses:

- **Size, Scale & Massing** - New homes should be compatible in size, scale, massing, orientation, setback, color, and texture with historic buildings in the district constructed prior to 1945. Facades should be architecturally similar to existing historic homes and visually relate to the historic facades of nearby homes; radically contrasting façade designs will not be allowed. Entrances, porches, and other projections should relate to the pattern of existing adjacent historic homes and respect the rhythm and continuity of similar features along the street. Roof forms should be consistent with typical roof forms



of existing historic homes in terms of pitch, orientation, and complexity. New homes should be constructed to a height compatible with existing adjacent historic homes, and the maximum height of new construction should be within 10% of the average height of existing homes on adjacent lots, or the average of the block measured from the original surface grade to the highest part of the roof.

- **Exterior Finishes** - Traditional materials and exterior finishes (horizontal lap siding, stucco, brick, false half-timbering, wood shakes, stone) are recommended for use on facades which are visible from the street. The use of non-traditional materials (such as Hardi-Plank siding and steel roofing) should be considered on a case-by-case basis; imitative wood or masonry finishes should duplicate the size, shape, color, and texture of materials historically used in the District. Aluminum and vinyl siding are not appropriate for street facades.
- **Accessory Mechanical Equipment** - Mechanical equipment, solar panels, air conditioners, satellite dishes, and antennae should be concealed whenever possible or placed in an inconspicuous location so as not to intrude or detract from historic facades and streetscapes.
- **Decks & Accessory Structures** - Contemporary designs are acceptable for decks and accessory structures so long as they are not visible from the street.
- **Landscaping Elements** - Landscaping such as retaining walls, planters, fences, planting beds, and walkways, should be visually compatible with the historic character of the district in size, scale, material, texture, and color. Retaining walls should follow the grade of the lot and blend with the historic streetscape.
- **Impervious Surfaces** - Construction of large areas of impervious surface for driveways, patios, and off-street parking should be discouraged in favor of permeable pavement systems and other “green” alternatives to solid concrete, brick, or bituminous paving.
- **Building Code Requirements** - Building code requirements should be complied with in such a manner that the architectural character of the new home is compatible with the historic character of the neighborhood.
- **Year Built Identification** - New homes should be clearly identified as such by means of a plaque or inscription (to be placed on an exterior surface) bearing the year of construction.

## **GARAGES**

Modernistic designs for new detached garages will be discouraged. New detached garages should match the architectural style of the house on the same lot as well as the historic character of the neighborhood. The following guidelines will be applied to design review of plans for new garages:

- The new garage should be subordinate to the house. The preferred placement is at the rear of the lot or set back from the front of the house to minimize the visual impact on adjacent homes and streetscapes. Front facing attached garages are discouraged. No new detached garage should be taller, longer, or wider than the house on the same lot. The roofline should have a maximum height within 10% of the average height of existing detached garages on adjacent lots, or the average of the block.
- Undecorated exterior walls longer than 16 feet should be avoided on elevations visible from the street or adjacent properties.
- New garages should be clearly identified as such by means of a plaque or inscription (to be placed on an exterior surface) bearing the year of construction.

### **DRIVEWAYS**

- Driveways should be compatible in width and material with historic driveways in the district and should be designed in such a manner that they do not radically change, obscure, or destroy the historic character-defining spatial organization and landscape features of residential lots, yards, and streetscapes. New curb-cuts should be avoided whenever possible.

### **CITY RESPONSIBILITIES**

- The City will develop and implement plans for the preservation, maintenance, and replacement of all public infrastructure within the district, including streets, trees, sidewalks, street lighting, signs, parks, and open space areas that give the neighborhood its distinguishing character.
- The distinguishing original qualities and historic character of the district will not be damaged or destroyed as a result of any undertaking funded or assisted by the City. The removal or alteration of any historic building or landscape feature should be avoided whenever possible.

### **VOLUNTARY COMPLIANCE**

- The City will promote voluntary compliance with historic preservation standards for the rehabilitation of individual historic properties by encouraging repairs, additions, or alterations which make possible an efficient contemporary use of older homes in the district while preserving those features that are historically and architecturally significant.
- Although not ordinarily subject to Certificates of Appropriateness, small additions or minor alterations should be done in such a manner that they do not destroy historically significant architectural features. New additions should be differentiated from historic architecture and designed to be compatible with the size, scale, color, material, and character of the property.

### **NATURAL DISASTERS**

- When historic properties are impacted by man-made or natural disasters, every reasonable effort will be made to avoid total loss. If demolition must occur, historic buildings should be recorded so that a body of information about them (photographs, drawings, and written data) will be preserved for the benefit of the public.

### **DISTRICT RE-SURVEY**

- The City will arrange for a re-survey of the Edina Country Club District every ten years to document changes in the appearance and historic integrity of historic properties; to revise the list of heritage preservation resources and non-heritage preservation resources present within the district boundaries; and to revise the district plan of treatment as needed. The next re-survey will take place circa 2017.

Resolution No. 2008-41

Adopted: 4-15-2008



**COUNTRY CLUB DISTRICT  
CERTIFICATES OF APPROPRIATENESS  
BY STREET**

**ARDEN AVENUE: 23**

4505	H-10-1	Decertify Heritage Resource- Denied
4505	H-14-2	New Street Facing Facades & New Detached Garage - Build New
4505	H-15-3	Changes to COA H-14-2
4506	H-04-5	Move Existing Garage
4508	H-04-1	Move Existing Garage
4513	H-15-7	New Detached Garage
4517	H-04-4	New Detached Garage
4519	H-10-2	New Detached Garage & Front Entry Portico
4523	H-05-7	Move Detached Garage
4528	H-09-3	New Detached Garage
4609	H-07-3	New Detached Garage
4611	H-09-7	New Detached Garage & Front Entry Portico
4612	H-14-1	New Detached Garage & Front Entry Canopy
4621	H-13-6	Change to Street Facing Façade
4624	H-04-2	New Detached Garage
4625	H-14-5	New Detached Garage
4629	H-14-8	New Detached Garage & Front Entry Canopy
4900	H-19-2	Changes to Street Facing Facades
4905	H-16-4	New Detached Garage
4907	H-11-8	New Front Entry Canopy
4910	H-03-7	New Detached Garage
4912	H-07-4	New Detached Garage
4920	H-17-1	Change to Street Facing Facade

**BRUCE AVENUE: 22**

4506	H-03-8	New Detached Garage
4511	H-11-9	New Detached Garage/Addition
4513	H-15-1	Change to Front Entry/2 <sup>nd</sup> Story Addition
4515	H-16-1	New Detached Garage
4519	H-16-6	New Detached Garage
4531	H-19-4	Changes to front facing façade
4524	H-12-3	Demolish House (non-heritage resource) – Build New
4601	H-16-3	New Detached Garage
4602	H-09-2	Demolish House (non-heritage resource) – Build New
4604	H-05-1	New Detached Garage
4607	H-17-2	New Detached Garage
4608	H-06-2	Demolish House (non-heritage resource) – Build New
4608	H-06-8	Revisions to Plan approved with H-06-2
4609	H-09-4	New Front Entry Portico
4623	H-10-3	New Detached Garage
4624	H-12-4	Demolish House (non-heritage resource) - Build New
4626	H-07-9	New Detached Garage

4629	H-08-2	New Detached Garage- VOID
4901	H-12-6	Change to Street Facing Façade - VOID
4901	H-14-11	Changes to Street Facing Façade
4902	H-15-8	New Detached Garage
4903	H-04-11	New Detached Garage

**CASCO AVENUE: 21**

4501	H-10-4	Remove Detached Garage/New Attached – corner lot
4505	H-17-5	Changes to Front Entry
4512	H-08-8	New Detached Garage/Front Façade
4512	H-10-5	New Detached Garage/Front Portico – change from H-08-8
4523	H-07-6	New Detached Garage
4526	H-06-6	New Detached Garage
4527	H-06-1	New Detached Garage
4530	H-16-7	New Detached Garage
4600	H-11-5	Change to Street Façade
4601	H-14-6	New Detached Garage & Change to Street Façade
4601	H-15-4	Changes to COA H-14-6
4608	H-16-8	Demolish House - Build New
4615	H-05-4	New Detached Garage
4622	H-07-5	New Detached Garage
4623	H-11-1	New Detached Garage/Addition
4625	H-09-8	New Detached Garage
4627	H-13-1	New Detached Garage
4628	H-01-11	New Detached Garage
4629	H-17-6	New Detached Garage
4631	H-07-2	New Detached Garage
4634	H-09-1	New Detached Garage

**DREXEL AVENUE: 22**

4504	H-13-2	New Detached Garage
4506	H-14-3	New Detached Garage
4507	H-06-4	Demolish Detached Garage/Construct New
4512	H-06-3	Demolish Detached Garage/Construct Attached Garage
4517	H-08-13	New Detached Garage
4517	H-18-4	Changes to Front Façade (dormers)
4518	H-18-1	New Detached Garage
4524	H-14-10	New Detached Garage
4526	H-04-7	New Detached Garage
4600	H-15-10	Change to Street Facing Façade
4601	H-05-8	Demolish House – Build New – corner lot
4610	H-18-3	Demolish and Replace Attached Garage
4619	H-04-10	New Detached Garage
4620	H-04-8	Demolish Detached Garage – Construct Attached Garage
4622	H-06-5	Demolish House – Build New
4622	H-08-1	Change in COA #H-06-5
4622	H-08-3	New Construction



4623	H-08-12	New Detached Garage
4624	H-06-7	New Detached Garage
4625	H-03-4	New Detached Garage
4630	H-19-1	Changes to Street Facing Facades
4633	H-08-7	New Detached garage - VOID

**WOODDALE AVENUE: 16**

4501	H-03-3	Demolish Detached Garage - Construct Attached Garage -VOID
4501	H-03-6	Demolish House – Build New – corner lot
4508	H-07-7	New Detached Garage
4608	H-17-4	New Front Entry Canopy
4512	H-07-8	New Detached Garage
4600	H-09-5	New Detached Garage – corner lot
4601	H-12-5	Change to Street Facing Façade
4602	H-15-5	New Detached Garage - changes 5/10/16
4605	H-07-1	New Detached Garage
4607	H-11-6	Move Detached Garage/Change to Street Facing Façade
4608	H-17-4	New Front Entry Canopy
4615	H-08-14	Demolish Home/Garage to Build New
4615	H-09-6	Change side to James Hardie Artisan Lap
4623	H-15-11	New Front Entry Portico
4624	H-13-7	Change to Street Facing Facade
4625	H-03-5	Demolish Detached Garage – Construct Attached Garage

**EDINA BOULEVARD: 4**

4511	H-08-11	New Detached Garage -VOID
4515	H-03-2	New Detached Garage
4600	H-08-4	New Detached Garage – corner lot
4621	H-11-7	Change to Street Facing Façade – Variance Required

**MOORLAND AVENUE: 8**

4513	H-08-5	New Detached Garage
4602	H-04-3	New Detached Garage
4603	H-05-3	New Detached Garage
4603	H-18-2	Changes to Front Entry
4607	H-05-2	New Detached Garage
4619	H-03-1	Demolish House – Build New
4620	H-12-2	New Detached Garage/Addition
4624	H-10-7	New Home - See 4408 Country Club Rd.

**BROWDALE AVENUE: 14**

4405	H-03-9	New Detached Garage – corner lot
4511	H-14-7	Changes to Street Facing Façade - Denied
4511	H-14-9	Changes to Street Facing Facade
4515	H-13-3	New Detached Garage – corner lot
4601	H-14-4	New Front Entry Overhang

4602	H-17-7	Change to Street Facing Façade-New Addition
4603	H-12-1	New Front Entry Canopy
4604	H-18-5	Changes/Addition to Front Façade
4604	H-19-3	Update to H-18-5-Changes/Addition to Front Facade
4610	H-16-2	Change to Street Facing Garage
4621	H-15-9	Change to Street Facing Façade & New Detached Garage
4624	H-13-4	Change to Street Facing Façade (Edenbrook Pl)
4627	H-08-10	Demo. Hot Tub House
4632	H-17-3	Change to Street Facing Façade (Edenbrook Pl)

**EDGEBROOK PLACE: 1**

4622	H-17-8	Changes to Front Entry
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**SUNNYSIDE ROAD: 5**

4504	H-15-2	New Front Entry Portico
4600	H-04-06	New Detached Garage
4805	H-11-4	Change to Street Facade
4901	H-10-6	Demolish House (non-heritage resource) – Build New
4916	H-13-09	Change to Street Facade

**COUNTRY CLUB ROAD: 3**

4229	H-16-5	New Front Entry Portico/Side street façade change
4401	H-13-5	Change to Street Facing Façade (add garage stall/MBR)
4408	H-10-7	Demolish House (non heritage resource) – Build New NEW ADDRESS: 4624 MOORLAND AVE.

**RIGHT OF WAY – CITY PROJECTS: 5**

HWY 100 – WESTERN BOUNDARY

H-04-09	Sound Wall From Creek North to W. 44th St.
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RECONSTRUCTION OF DISTRICT SEWER, WATER AND STREETS

H-05-6	Conceptual Plan Approved
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RECONSTRUCTION OF DISTRICT SEWER, WATER & STREETS

H-07-10	Traffic calming improvements
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RECONSTRUCTION STREETS & CROSSWALKS

H-08-6	Traffic Calming deleted – crosswalk changes only
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COUNTRY CLUB DISTRICT AREA IDENTIFICATION SIGNS

H-15-6	Allow 7 area I.D. signs at main entrances to District
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**NEW HOMES: 11**

2003	4619 Moorland Avenue
2005	4601 Drexel Avenue
2006	4608 Bruce Avenue



2008 4615 Wooddale Avenue  
2009 4602 Bruce Avenue  
2010 4901 Sunnyside Road  
4408 Country Club Road (changed to 4624 Moorland Avenue)  
2012 4524 Bruce Avenue  
4624 Bruce Avenue  
2014 4505 Arden Avenue  
2016 4608 Casco Avenue

**COA'S BY STREET:**

Arden Avenue = 23  
Bruce Avenue = 21  
Casco Avenue = 21  
Drexel Avenue = 22  
Country Club Road = 3  
Wooddale Avenue = 16  
Edina Boulevard = 4  
Moorland Avenue = 8  
Browndale Avenue = 14  
Sunnyside Road = 5  
Edgebrook Place = 1  
Right of Way - City = 5  
Total = 129

**COA'S BY YEAR:**

2003 9  
2004 11  
2005 8  
2006 8  
2007 10  
2008 14  
2009 9  
2010 7  
2011 9  
2012 6  
2013 8  
2014 11  
2015 11  
2016 8  
2017 8  
2018 5  
2019 4

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## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VI.E.

**To:** Heritage Preservation Commission

**Item Type:**

Other

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** Heritage Award

Discussion

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### **ACTION REQUESTED:**

Brainstorm ideas to gain more applications for the Heritage Award and how to increase awareness.

### **INTRODUCTION:**





## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** January 14, 2020

**Agenda Item #:** VIII.A.

**To:** Heritage Preservation Commission

**Item Type:**

Other

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** 2020 HPC Work Plan

Information

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### **ACTION REQUESTED:**

None.

### **INTRODUCTION:**

Attached is the Council approved 2020 HPC work plan.

### **ATTACHMENTS:**

2020 HPC Work Plan

# Heritage Preservation

2020 DRAFT Commission Work Plan Template



Initiative #1	Initiative Type	Completion Date	Council Charge
Review and Recommend Evaluate and recommend potential properties to be added to the Heritage Preservation eligible landmark list.	Ongoing	Ongoing	3 (review and recommend)
	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison Preservation Consultant-Robert Vogel
Progress Report:			

Initiative #2	Initiative Type	Completion Date	Council Charge
Review and Recommend Invite owners of determined eligible properties to designate their properties as Edina Heritage Landmarks and recommend to Planning Commission and City Council.	Ongoing	Ongoing	3 (review and recommend)
	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison Preservation Consultant-Robert Vogel
Progress Report:			

Initiative #3	Initiative Type	Completion Date	Council Charge
Review and Decide Review and decide on Certificates of Appropriateness (COA) applications for changes to heritage landmark designated properties.	Ongoing	Ongoing	4 (review and decide)
	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison Preservation Consultant-Robert Vogel
Progress Report:			

Initiative #4	Initiative Type	Completion Date	Council Charge
Review and Decide Award the 2020 Edina Heritage Award during National Preservation Month in May. Use different media outlets to help increase awareness during the	Ongoing	May-20	4 (review and decide)
	Lead Commissioners	Budget	Staff Support



nomination period to increase interest.	All Commission	Funds available	
			CTS - 5 hrs

Progress Report:

Initiative #5	Initiative Type	Completion Date	Council Charge
Review and Decide Coordinate a public walking tour around the Edina Country Club golf course area to view historic properties and pieces of the Edina Mill.	Event	May-20	4 (review and decide)
	Lead Commissioners	Budget	Staff Support
	All Commission, Lead: Annie Schilling	Funds available	Liaison - 5 hrs, CTS

Progress Report:

Initiative #6	Initiative Type	Completion Date	Council Charge
Review and Comment Review and comment on staff's administrative process improvement for Certificates of Appropriateness.	New	Dec-20	2 (review and comment)
	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison Preservation Consultant-Robert Vogel

Progress Report:

Initiative #7	Initiative Type	Completion Date	Council Charge
Review and Comment Continue the 2019 resurvey of the Country Club District and review the plan of treatment.	Continue	Dec-20	2 (review and comment)
	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison Preservation Consultant-Robert Vogel

Progress Report:

Initiative #8	Initiative Type	Completion Date	Council Charge
Review and Decide Apply for CLG grant to test the archeological model.		Dec-20	
	Lead Commissioners	Budget	Staff Support
	All Commission	NA	Staff Liaison Preservation Consultant-Robert Vogel

Progress Report:

**Initiative #9**

Review and Comment	Initiative Type		Completion Date	
	Continue	Ongoing	2 (review and comment)	
Appoint up to two members members to provide feedback on HRRC's initiative (#4) to create an assessment rubric / recommendation process for City facility artwork and décor before final recommendation goes to City	Lead Commissioners	Budget	Staff Support	
		NA		

Progress Report: